

Helen Ward, Commissioner
Larry Granados, Commissioner



Lewis Rice, Commissioner
Lauren Turner, Vice Chairman

**ROANOKE ZONING BOARD OF ADJUSTMENT AGENDA
AUGUST 17, 2023
7:00 PM**

**ROANOKE CITY HALL
CITY COUNCIL CHAMBERS – 2ND FLOOR
500 S. OAK STREET
ROANOKE, TEXAS 76262**

A. CALL TO ORDER

B. PUBLIC INPUT

This item is available for citizens to address the Zoning Board of Adjustment on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda. In order to provide the highest quality audio, all speakers need to speak at the podium.

C. APPROVAL OF THE MINUTES

1. Consideration and action on approval of the minutes from the regular Zoning Board of Adjustment meeting held on July 20, 2023.

D. NEW BUSINESS

1. Public hearing to consider an appeal of an administrative decision, to-wit: the permit was denied pursuant to Sections 12.262 (2) and 12.751(D) of the Code of Ordinances. The applicant is wanting to build an accessory structure that exceeds the maximum height and also the maximum size of an accessory structure in a Residential Zoning District. The proposed project is located on the south side of Dallas Drive, next to the Church of Christ, legal description: A0923a MEP & PRR, TR 58, 1.0 Acres, Old DCAD TR #19(1) City of Roanoke, Denton County, Texas, and having a property address of 604 Dallas Drive, Roanoke, Texas.
2. Consideration and action on an appeal of an administrative decision for a permit that was denied pursuant to sections 12.262 (2) and 12.751 (D) of the code of ordinances. The project is located on the south side of Dallas



AGENDA FOR THE ROANOKE
ZONING BOARD OF ADJUSTMENT

August 17, 2023
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Dr., next to the Church of Christ, Legal Description, A0923A MEP & PRR
Tr 58, 1.0 acres, Old DCAD Tr #19(1) City of Roanoke, Denton County,
Texas and having a property address of 604 Dallas Dr, Roanoke, Texas.

E. ADJOURNMENT

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Thursday, August 10, 2023, by 5:00 pm, in accordance with Chapter 551, Texas Government Code.

April S. Hill, City Secretary

*Any person planning to attend this meeting that may require auxiliary aids or services should request accommodations two (2) days prior to the meeting by calling (817) 491-8152. **BRILLE IS NOT AVAILABLE.**

A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: 07/20/2023 - ZBA Minutes

MEETING DATE: August 17, 2023

DEPARTMENT: City Secretary

ITEM SUMMARY:

Consideration and action on approval of the minutes from the regular Zoning Board of Adjustment meeting held on July 20, 2023.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. ZBAMin 07-20-2023



Helen Ward, Commissioner
Larry Granados, Commissioner

Lewis Rice, Chairman

Abigail Mayer, Commissioner
Lauren Turner, Vice Chairman

**ROANOKE ZONING BOARD OF
ADJUSTMENT REGULAR MEETING
MINUTES
JULY 20, 2023
7:00 P.M.**

**ROANOKE CITY HALL
500 S. OAK STREET
ROANOKE, TEXAS 76262**

Present: Chairman Lewis Rice; Vice Chairman Lauren Turner; Commissioners: Helen Ward, and Abigail Mayer; City Planner Kelly Carlson and Secretary Sherry Gragg.

Absent: Commissioner Larry Granados.

A. CALL TO ORDER

Meeting called to order at 7:02 p.m.

B. PUBLIC INPUT

No one wished to speak.

C. APPROVAL OF THE MINUTES

1. Motion made by Lewis Rice second by Helen Ward to approve the minutes from the Zoning Board of Adjustment meeting held on June 15, 2023.
Motion carried unanimously.

D. NEW BUSINESS

1. Public hearing to consider to consider a Special Exception Request (SEP 2023-03) from Lance and Mistelle Oakley, seeking relief from the City's Code of Ordinances Section 12.601.d.(3).a&b regarding lot coverage and 2nd story regulations for a property located at 321 Travis St , Lot 1 Block 23, Old Town Roanoke Addition.

Public hearing started at 7:04 p.m.

Lance and Estelle Oakley, applicants, explained the reason for their request and gave an overview of their intentions of the project. Mr. Oakley further stated he had



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ADJUSTMENT MEETING**

**July 20, 2023
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discussed his project with surrounding neighbors and they were supportive of their intended home plans.

Laura and Roger Nash, residents, stated they have been in this Roanoke neighborhood for 28 years, and love the size of the homes on the size of the lots. Mr. and Mrs. Nash will that the size of the home is excessive for the size of the lot. Mr. and Mrs. Nash are not in support of this project.

Andrew Warden, resides in Trophy Club, and owns property on Main Street in Roanoke, is in support of this project.

Tracie Patterson, resident, is in support of this project.

Mrs. Oakley stated she researched the area to find when the lots were plated. Mrs. Oakley further stated the lots were platted at 50' (ft.) prior to the overlay. The overlay requires a 60' (ft.) lot, which causes a hardship. Mr. and Mrs. Oakley stated the want to work with neighbors, not fight against them on building their home.

Mr. Nash stated the Oakley's knew the lot size when they purchased it, and expected approval of the special exception.

Public hearing ended at 7:25 p.m.

The Zoning Board of Adjustment adjourned into Executive Session

Executive Session started at at 7:27 p.m.

Consideration and action on a Special Exception Request (SEP 2023-03) from Lance and Mistelle Oakley, seeking relief from the City's Code of Ordinances Section 12.601.d.(3).a&b regarding lot coverage and 2nd story regulations for a property located at 321 Travis St , Lot 1 Block 23, Old Town Roanoke Addition.

Executive Session ended at at 7:41 p.m.

2. Motion made by Abigail Mayer second by Helen Ward to approve, second story setbacks from 3' (ft) to 21' (ft.), to reduce the lot coverage to 25%, and to allow the breezeway as it exists in the current plans, to reduce the second floor to 50%, a Special Exception Request (SEP 2023-03) from Lance and Mistelle Oakley, seeking relief from the City's Code of Ordinances Section 12.601.d.(3).a&b regarding lot coverage and 2nd story regulations for a property located at 321 Travis St , Lot 1 Block 23, Old Town Roanoke Addition.

Motion carried unanimously.

3. Public hearing to consider a Variance (V 2023-03) request from Lance and Mistelle Oakley, seeking relief from the City's Code of Ordinances Section 12.601.d.(2).a. Table 1 regarding primary building setbacks for a property located at 321 Travis St, Lot 1 Block 23, Old Town Roanoke Addition.



**MINUTES FOR THE ZONING BOARD OF
ADJUSTMENT MEETING**

**July 20, 2023
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Public hearing started at 8:14 p.m.

Mr. Oakley stated they are asking for a variance to allow 5' (ft.) on west side and 7' (ft.) on east side of the property. This will put the home in line with the house directly across the street, and provide a more balanced street view.

Andrew Warden, resides in Trophy Club, and owns property on Main Street in Roanoke, is in support of the requested variance.

Tracie Patterson, resident, is in support of the requested variance.

Public hearing ended at 8:16 p.m.

4. Motion made by Lauren Turner second by Lewis Rice to approve a Variance (V 2023-03) request from Lance and Mistelle Oakley, seeking relief from the City's Code of Ordinances Section 12.601.d.(2).a. Table 1 regarding primary building setbacks for a property located at 321 Travis St , Lot 1 Block 23, Old Town Roanoke Addition.

Motion carried unanimously.

D. ADJOURNMENT

Motion made by Lauren Turner second by Lewis Rice to adjourn the meeting at 8:25 p.m.

Motion carried unanimously.

Abigail Mayer, Chairman

Sherry Gragg, City Secretary



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: PH Notice - 604 Dallas Drive - Appeal

MEETING DATE: August 17, 2023

DEPARTMENT: City Secretary

ITEM SUMMARY:

Public hearing to consider an appeal of an administrative decision, to-wit: the permit was denied pursuant to Sections 12.262 (2) and 12.751(D) of the Code of Ordinances. The applicant is wanting to build an accessory structure that exceeds the maximum height and also the maximum size of an accessory structure in a Residential Zoning District. The proposed project is located on the south side of Dallas Drive, next to the Church of Christ, legal description: A0923a MEP & PRR, TR 58, 1.0 Acres, Old DCAD TR #19(1) City of Roanoke, Denton County, Texas, and having a property address of 604 Dallas Drive, Roanoke, Texas.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. PH Notice - APPEAL to Board of Adjustment - Admin Decision



City of Roanoke Notice of Public Hearing Appeal Request

CITY OF ROANOKE NOTICE OF PUBLIC HEARING ZONING BOARD APPEAL

Roanoke Zoning Board of Adjustment

THE ROANOKE ZONING BOARD OF ADJUSTMENT WILL HOLD A PUBLIC HEARING ON THURSDAY, AUGUST 17, 2023, TO CONSIDER AN APPEAL OF AN ADMINISTRATIVE DECISION, TO-WIT: THE PERMIT WAS DENIED PURSUANT TO SECTIONS 12.262 (2) AND 12.751(D) OF THE CODE OF ORDINANCES. THE APPLICANT IS WANTING TO BUILD AN ACCESSORY STRUCTURE THAT EXCEEDS THE MAXIMUM HEIGHT AND ALSO THE MAXIMUM SIZE OF AN ACCESSORY STRUCTURE IN A RESIDENTIAL ZONING DISTRICT. THE PROPOSED PROJECT IS LOCATED ON THE SOUTH SIDE OF DALLAS DRIVE, NEXT TO THE CHURCH OF CHRIST, LEGAL DESCRIPTION: A0923A MEP & PRR, TR 58, 1.0 ACRES, OLD DCAD TR #19(1) CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND HAVING A PROPERTY ADDRESS OF 604 DALLAS DRIVE, ROANOKE, TEXAS. THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Thursday, July 27, 2023, by 5:00 p.m.

April S. Hill, City Secretary

****Persons with disabilities who plan to attend this meeting, who may need auxiliary aids or services are requested to contact April S. Hill, City Secretary, at City Hall, (817) 491-2411 two (2) days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.**

 A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: 604 Dallas Drive Appeal

MEETING DATE: August 17, 2023

DEPARTMENT: Planning

ITEM SUMMARY:

Consideration and action on an appeal of an administrative decision for a permit that was denied pursuant to sections 12.262 (2) and 12.751 (D) of the code of ordinances. The project is located on the south side of Dallas Dr., next to the Church of Christ, Legal Description, A0923A MEP & PRR Tr 58, 1.0 acres, Old DCAD Tr #19(1) City of Roanoke, Denton County, Texas and having a property address of 604 Dallas Dr, Roanoke, Texas.

INFORMATION:

Zoning: The underlying zoning is Single Family SF-7, and is located in the area of town that has the Old Town Neighborhood Design Overlay regulations.

The applicant proposed an accessory structure that exceeds the maximum height and also the maximum size of an accessory structure in a residential district.

Zoning: 12.601 Old Town Neighborhood Design Overlay and the underlying zoning is Single Family SF-7.

The building plans were reviewed by the building department and the review comments were sent to the applicant on June 1, 2023.

Reviewed Building Plans Reflect:

- Building Height:: Thirty feet four inches (30' 4").
- Building Square Ft.: Seven thousand two hundred square feet (7,200 sf).

Comments sent to the applicant on this matter: (other comments were sent as well)



AGENDA ITEM

- **SF-7 Single Family Residential Sec. 12.262 - Height Regulations**
a) *Maximum Height.* (2) One story, or sixteen feet (16') for other accessory buildings, including detached garage, garden shed, gazebo, etc.

Sec. 12.751 - Area Regulations for Residential Districts.

(d) In all residential districts (including Agricultural), the total floor area of all accessory structures shall not exceed fifty percent (50%) of the square footage of the livable area of the residence on the premises, or five percent (5%) of the lot/tract area, whichever is larger.

-

STAFF RECOMMENDATION:

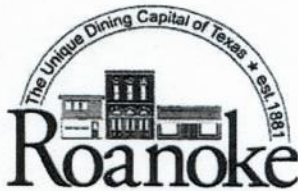
Staff does not recommend approval of this appeal.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. ZBA Appeal Application - 604 Dallas Drive Jason Webber
2. zoning board appeal 604 Dallas (2)
3. 604 Dallas Drive-Plans that were reviewed by building department



CITY OF ROANOKE
500 S. OAK STREET
ROANOKE, TEXAS 76262
(817) 491-2411

Zoning Board of Adjustment Application

Variance ☐

Special Exception ☐

Zoning Board Appeal ☒

Name of Applicant Jason Webber	Address of Applicant 604 Dallas Dr Roanoke, TX 76262	E-Mail jwebber@adhdr.com
		Phone
		Mobile Phone 805-573-0043
Name of Business N/A	Type of Business	
Property Address	Lot / Block / Subdivision	

Explanation of request:

This Request is for August Mtg. Due to out of country
I received verbal approval from City before I

bought the property to build a 7500sqft shop. Once I closed and

submitted about 7300 sqft I was denied. my request is to drop roof peak

~~For Variance please~~
~~state hardship~~

down from 27' to 21' and corners to 17'. My

first choice would be to keep current plans. I am also requesting

to scratch the breezeway and do stand alone shop & use that money for
more curb appeal to house ie. fence or paint job on house.

Fees: Variance-\$200.00, Special Exception-\$200.00, Zoning Board Appeal-\$100.00. Fees are non-refundable. The Zoning Board of Adjustment meets on the 3rd Thursday of the month, at 7:00 p.m. in the City Hall Council Chamber located at 500 S. Oak Street. You will be notified by e-mail of the date the request will be presented before the ZBA. For a Variance or Special Exception, property owners located within 200 feet will be notified by mail. Electronic drawings and any additional information that needs to be reviewed prior to the meeting must be received with the application.

FOR OFFICE USE ONLY

CITY OF ROANOKE Date Payment Received JUN 26 2023 PAID	Date of Meeting AUG 17 2023	Date Notified JUL 27 2023	Item No. A-2023-01
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02/03/2012

GENERAL NOTES

1. Unloading, handling and proper storage of the Steel Building package is the responsibility of the Erector and/or End User. Roof and wall panels must be kept dry prior to installation. Elevating one end of panel bundles is recommended to encourage drainage in case of rain.

2. Any and all damaged or shorted materials are to be reported within 24 hours of unloading. Check all materials with the Bill of Materials.

3. Unloading of Building Materials should be done with the appropriate lifting equipment such as cranes, forklift or Skytrac due to the heavy nature of the parts involved.

4. All bracing, strapping and bracing shown on the erection drawings for this building is a requirement. They shall be installed by the Erector as a permanent part of the structure. It is the responsibility of the Erector to determine and provide temporary bracing to secure the building during the erecting process until permanent bracing can be installed.

5. Claims for correction of alleged mistakes will not be allowed unless Southwest Metal Systems has received prior notice in writing and is allowed reasonable time to inspect such alleged mistakes. The correction of minor mistakes by the use of drill pins to draw the components in line, moderate reaming, chipping and cutting and the replacement of minor shortages of materials are a normal part of the erection process and are not subject to claim. No part of the building may be returned for alleged mistakes without the prior approval of Southwest Metal Systems.

6. Jobsite safety is a priority. Erector are to wear OSHA approved hard hats, safety glasses, safety harnesses, gloves and steel toe boots at all times. Fall protection must be provided during roof and wall panel installation. OSHA guidelines and regulations are to be followed in all phases of building erection.

7. Foundation design by others. Anchor bolts shall be set accurately to a tolerance of $\pm 1/8"$ in both elevation and location. All column base plates are set at Finish Floor elevation unless noted otherwise.

8. Wall insulation, if required, is to be kept a minimum of 1 1/2" from the bottom of the wall panel to avoid "wicking" up behind the wall panel.

9. Closure Straps are provided at roof application only (unless noted on drawings). Inside closure provided at roof eave only when insulation is NOT provided. See details for additional Closure applications.

10. Southwest Metal Systems assumes no responsibilities or liabilities for delays or back charges caused by deliveries not arriving on time.

11. Metal flings and shavings created from the fastener drilling process are to be cleaned off of the roof and wall panels the same day of panel installation. Failure to do so will void the panels warranty, as metal flings and shavings will rust and damage the finish of the roof and wall panels.

12. Roll Sealer (tacky tape) required on all roof panel laps for roof with slopes of 1:12 and lower.

13. These Drawings are Erection Drawings Only. They are not Construction Documents.

14. Wall panels must be installed with 1/4" clearance from Concrete foundation. Failure to do so voids Wall Panel Warranty.

15. Insulation at base of wall shall be installed in such a manner that does not allow moisture wicking. Fold insulation liner as shown on Base Detail. Failure to do so voids Wall Panel Warranty.

* These edits will
be sent back to architect
for approval if and when
approved by ZBA.
Please see page 5 edits.
Also, not shown on here's
the 75' breezeway. I am
requesting to cancel that
and have stand alone shop
so I can allocate the
LID-SDK elsewhere
for something that
will add more curb
appeal such as
new fence, or paint job on
house & landscaping.

05/11/2023

PROFESSIONAL ENGINEER
MINQIAO ZHU
90811

STATE OF TEXAS
* * *

T&Z Consulting Services, LLC
Texas Registered Engineering Firm F-19297
1428 N Shervin Court
Scrivener, PA 15143

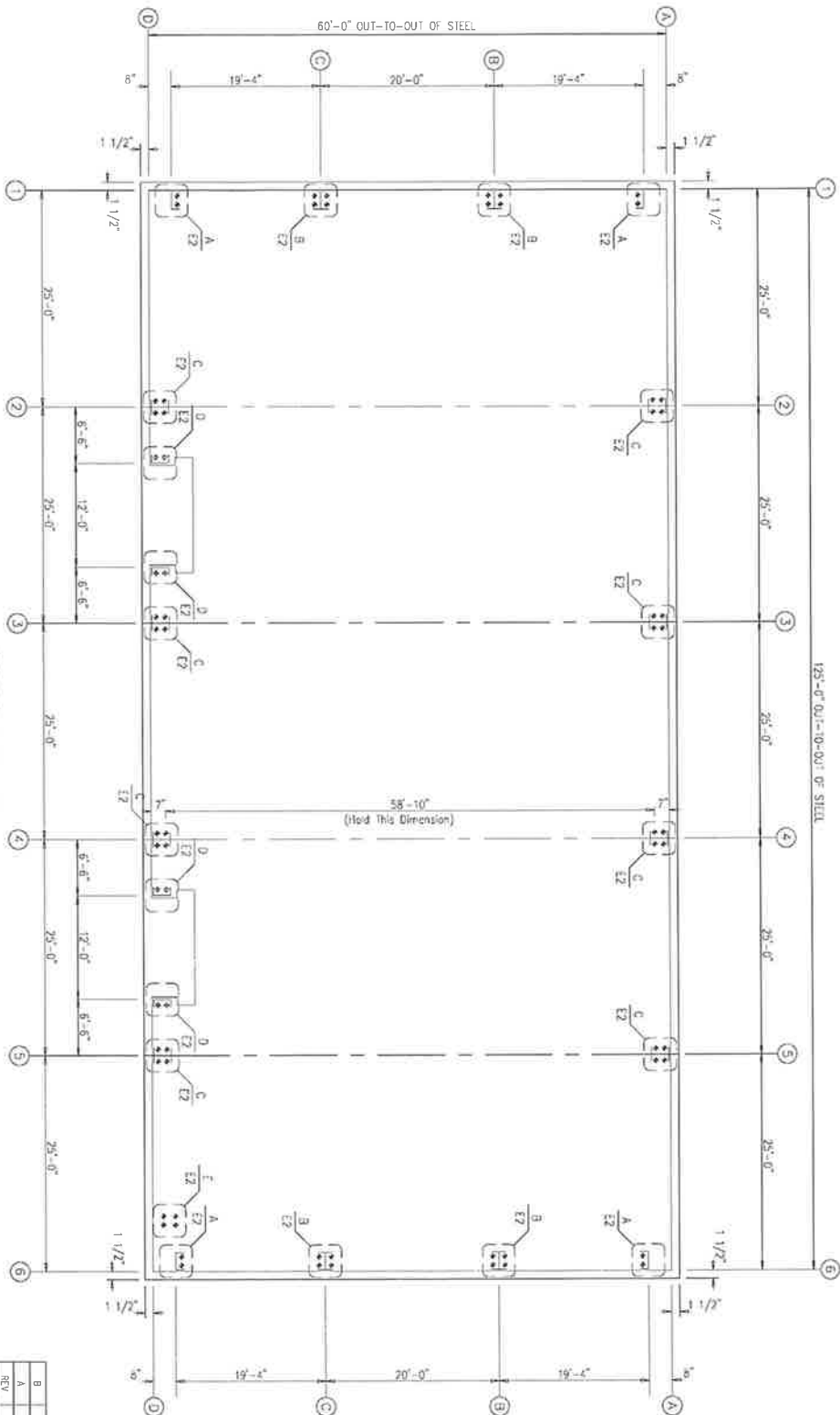


05/11/2023

T&Z Consulting Services, LLC
Texas Registered Engineering Firm F-19297
1428 N Shevlin Court
Sewickley, PA 15143

B	FOR CONTINUATION	5/6/92
A	FOR APPROVAL	6/24/93
REV	DESCRIPTION	DATE
485 NE LOOP 504 WICKO, TX 76793 (957) 595-8811  SOUTHERN METAL SYSTEMS 5595 US HIGHWAY 137 ARLING, TEX 76010 (940) 381-0900		
MODEL NAME: AD-101 ADDRESS: PO BOX 1, TX 76762 CONTACT: DEBBY ALVES DRAWING: COVER PAGE DATE DRAWN: SCALE: JOB NO: 313BVS23 4/24/93 NTS		
CHG1		

ANCHOR BOLT SUMMARY					
Dwg	Locate	Deg	Type	Len	Proj
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97	5/8"	5/8"	MEWOC	5.00	1.25
98	5/8"	5/8"	MEWOC	5.00	1.25
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100	5/8"	5/8"	MEWOC	5.00	1.25



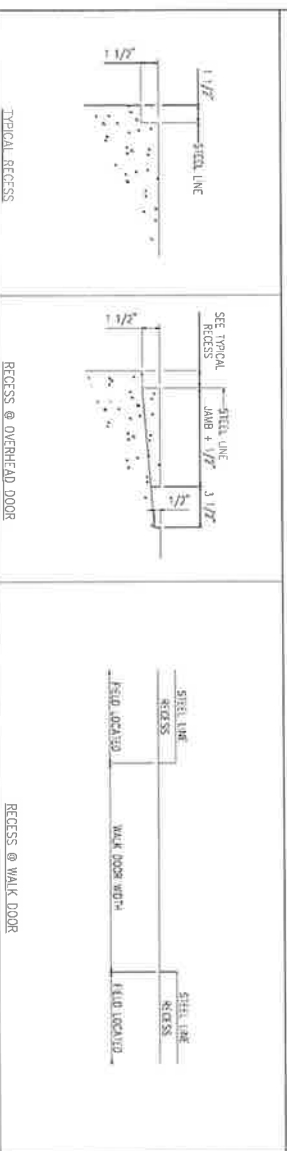
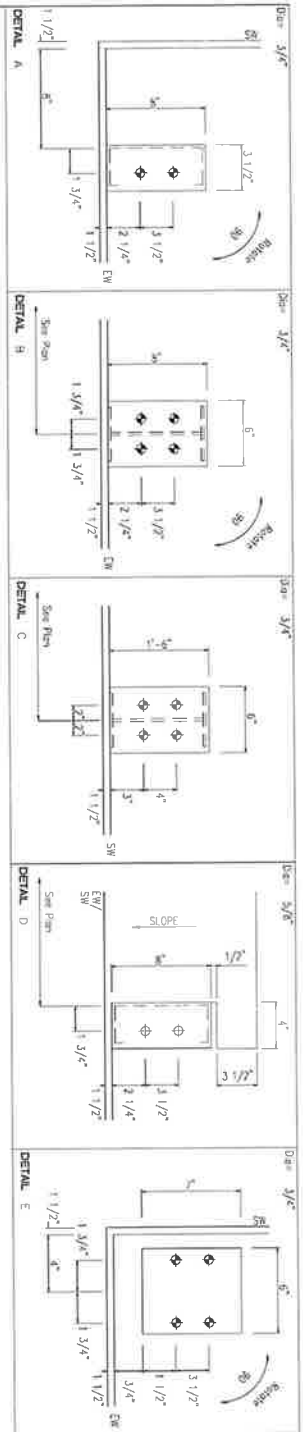
ANCHOR BOLT PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)

05/11/2023



B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
1	443 N. 100th St Wesley, TX 75773 (940) 586-9811	
2	3075 US HIGHWAY 117 Wesley, TX 75773 (940) 586-9811	
3	PROJECT NAME: AD-002	
4	ADDRESS: MIDLAND, TX 79602	
5	CONTRACTOR: MIDLAND ALVES	
6	DRAWING: ANCHOR BOLT PLAN	
7	DATE DRAWN: 4/24/23	
8	SCALE: 3/16"=1'-0"	
9	SHEET NO: 1	



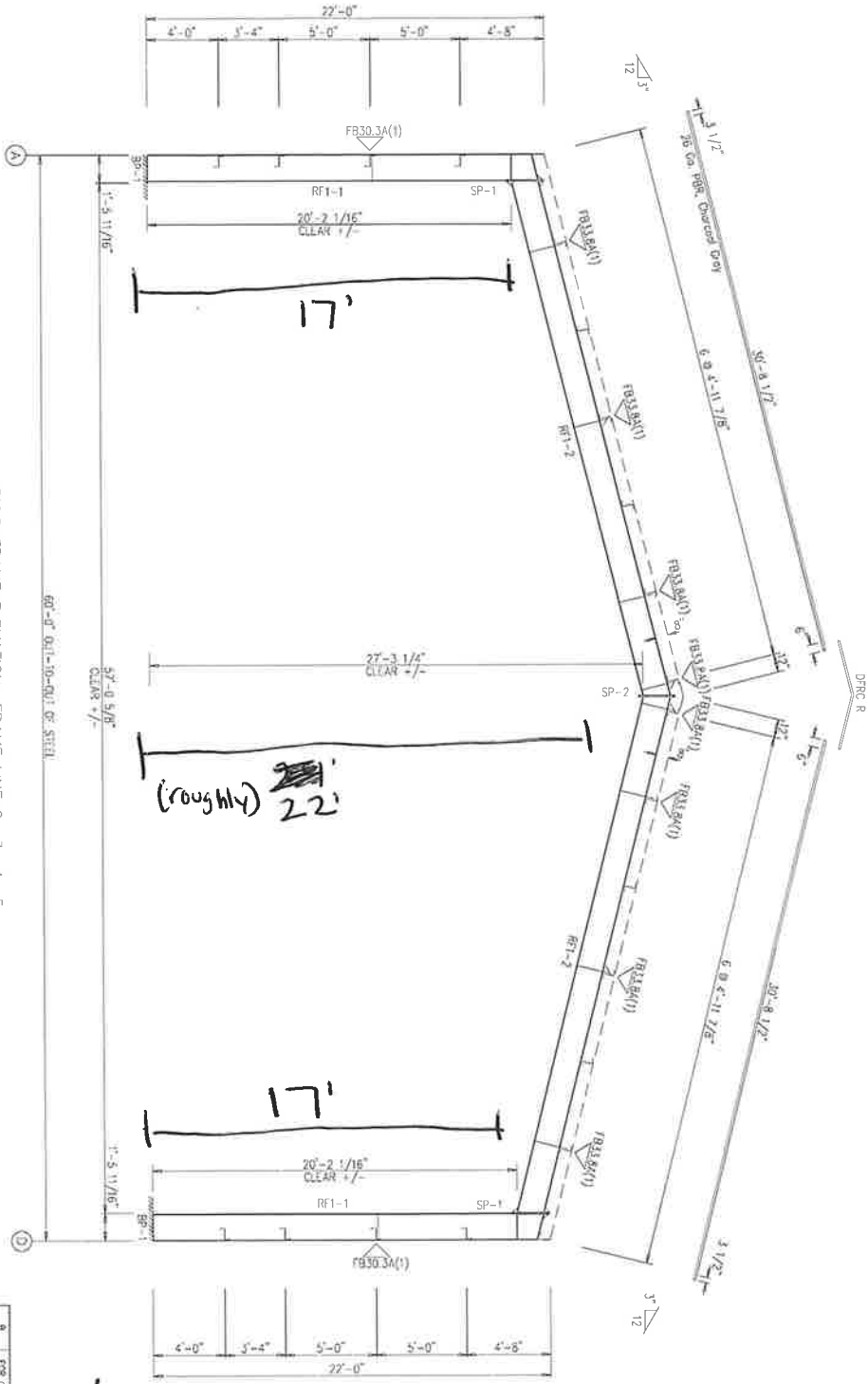
05/11/2023

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 N. LOOP 564		
VICTORIA, TX 77773		
(936) 389-8411		
SOUTHWEST		
ANCHOR BOLT DETAILS		
DATE: 4/24/23	SCALE: NTS	JOB NO: J11BHS23
DRAWING: ANCHOR BOLT DETAILS		SHEET NO: E2

SPACE BOLT TABLE					
Work	Qty	Bol	Int	Type	Dim
SP-1	4	4	0	A325	1" x 7'
SP-2	4	4	0	A325	3/4" x 2 1/4"

BOLT PLATE TABLE			
Col	Plate Size	Width	Length
SP-1	6"	1/2"	1'-6"

VARANCE BRACES: Bay Steel(x) x
 FB30.3A(1) x steel length(x)
 A = 12x2x12



RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5

Variance
 E D I T

Height is suggested now at about 22' @ Peak & 17' at sides.

MARK	MEMBER	LENGTH
FB-1	MEMBERS	21'-3 3/4"
FB-2	BRACES	20'-4 1/4"

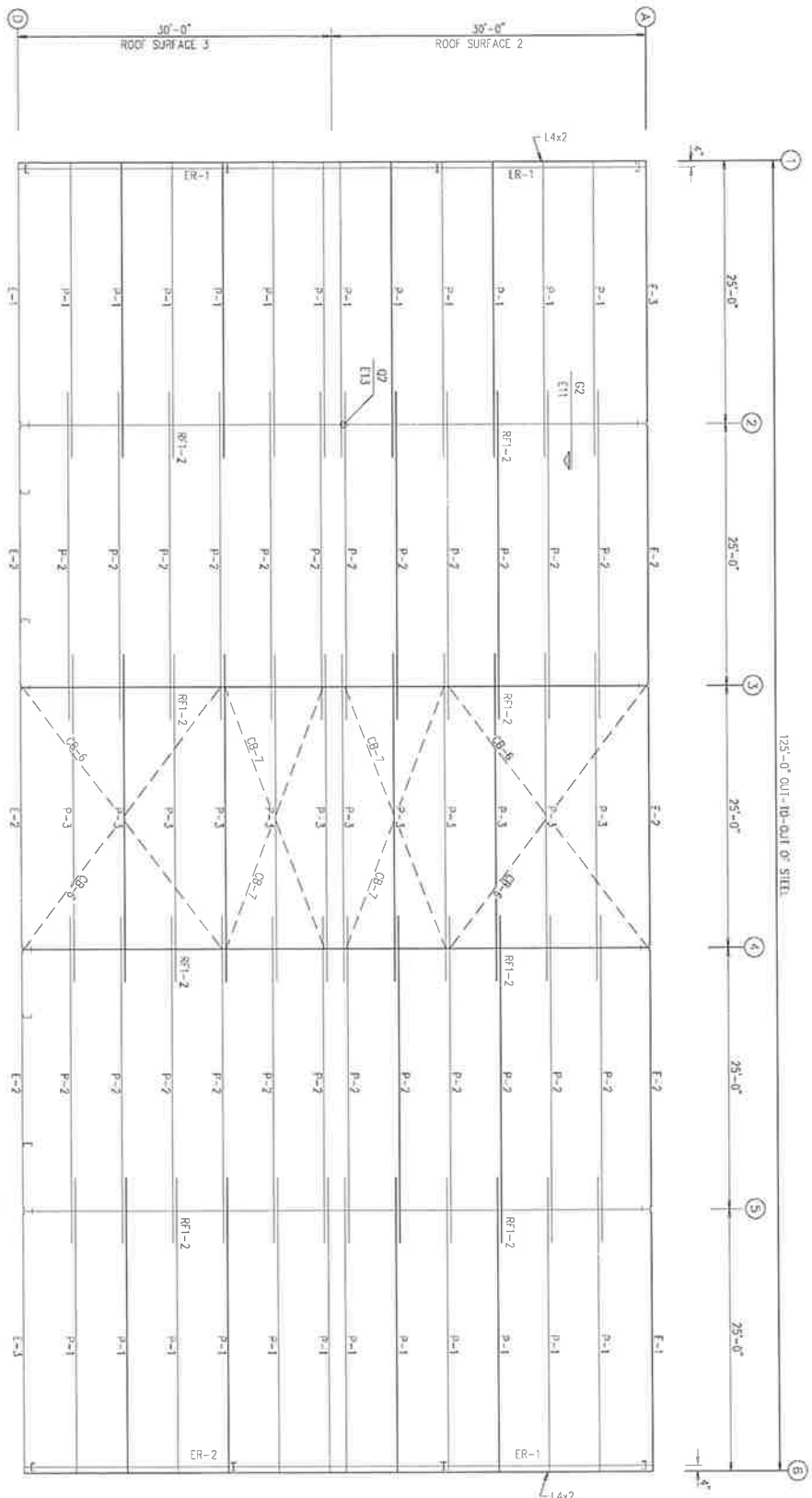


05/11/2023

REV	DESCRIPTION	DATE
1	FOR CONSTRUCTION	5/10/23
2	FOR APPROVAL	4/24/23

PROJECT NAME:	405 NE LOOP 504	5295 US HIGHWAY 317
LOCATION:	WACATA, TX 75773	AUBREY, TEXAS 76025
OWNER:	505-9801	(940) 381-0991
DESIGNER:	BOYD & ASSOCIATES	
DATE:	4/24/23	
SCALE:	1/8" = 1'	
NOTES:	SEE SHEET 2	

REVISION TABLE	
NO.	DESCRIPTION
1	ISSUED FOR PERMIT
2	REVISION
3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION



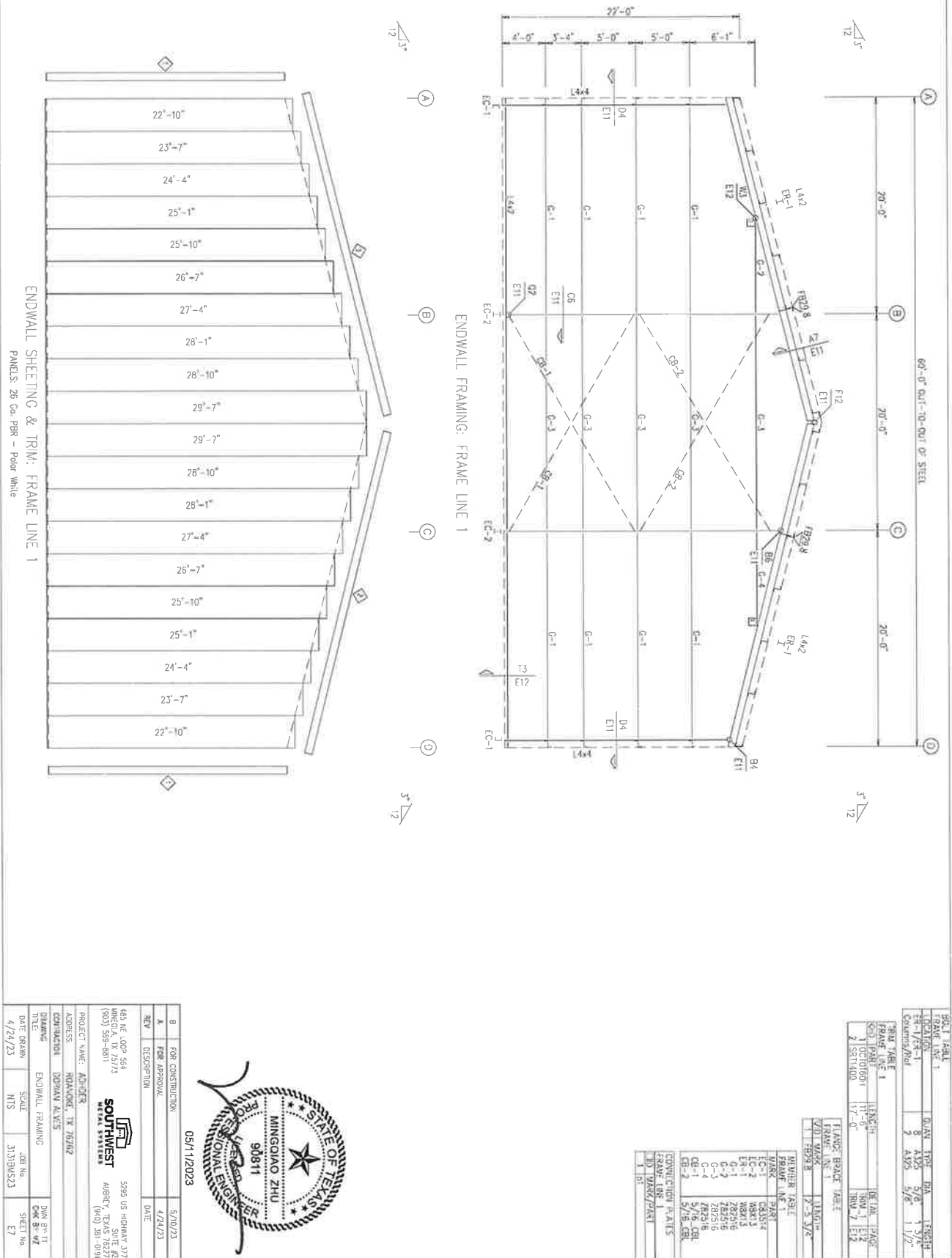
ROOF FRAMING PLAN

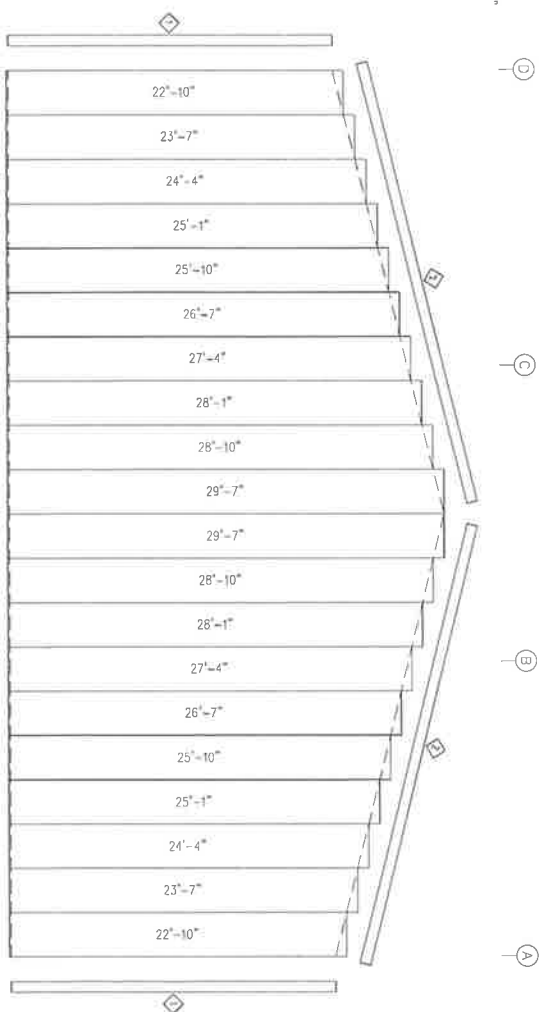
05/11/2023



REVISION	
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3	REVISION
4	REVISION
5	REVISION
6	REVISION
7	REVISION

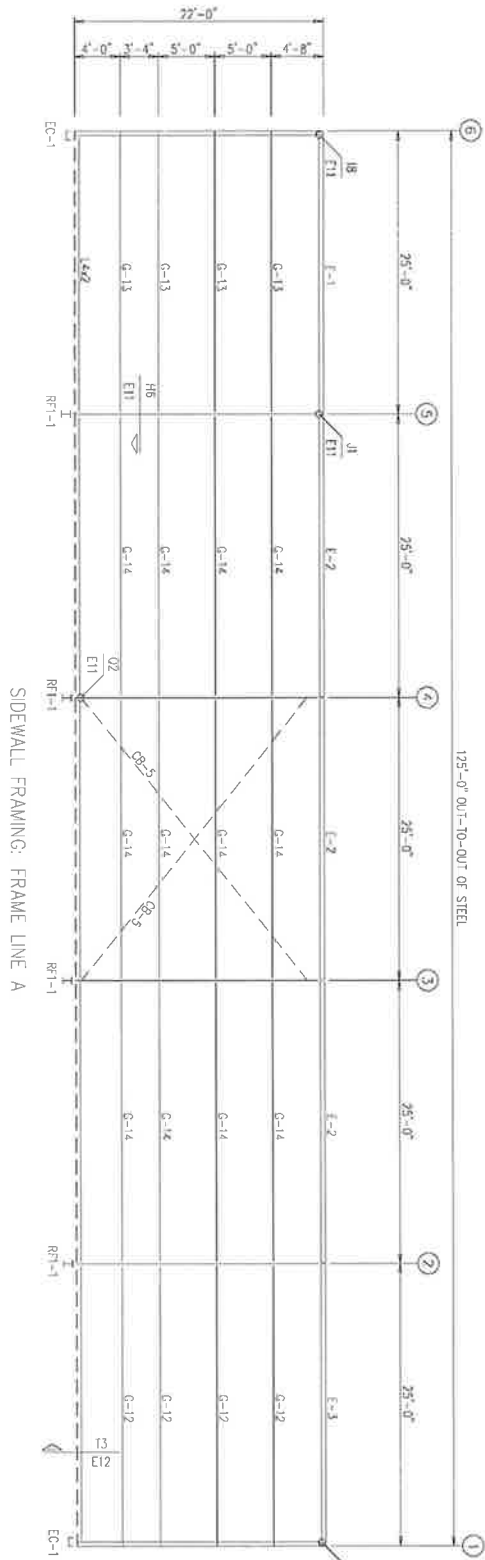
PROJECT NAME:	405 NE LOOP 504
LOCATION:	405 NE LOOP 504, AUBREY, TEXAS 76001
OWNER:	SOUTHWEST METAL SYSTEMS
DESIGNER:	BOHANNON & ASSOCIATES
DATE:	4/24/23
DRAWN BY:	MS
CHECKED BY:	MS
SCALE:	1/8" = 1'-0"
SHEET NO.:	15



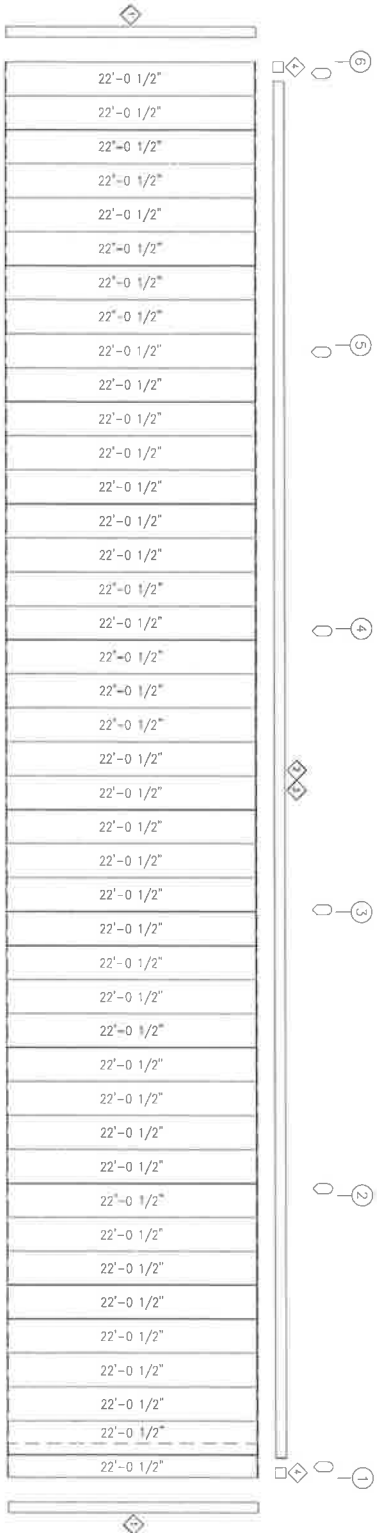


PANELS: 26 Co-PBR - Polar White

DOWNSPOUT LOCATIONS



SIDEWALL FRAMING: FRAME LINE A



SIDEWALL SHEETING & TRIM: FRAME LINE A

PANELS: 26 Cts. PER - Polar White

ITEM TABLE		ITEM	QUANTITY	UNIT
1	STEEL FRAMING	125'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
2	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
3	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
4	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT

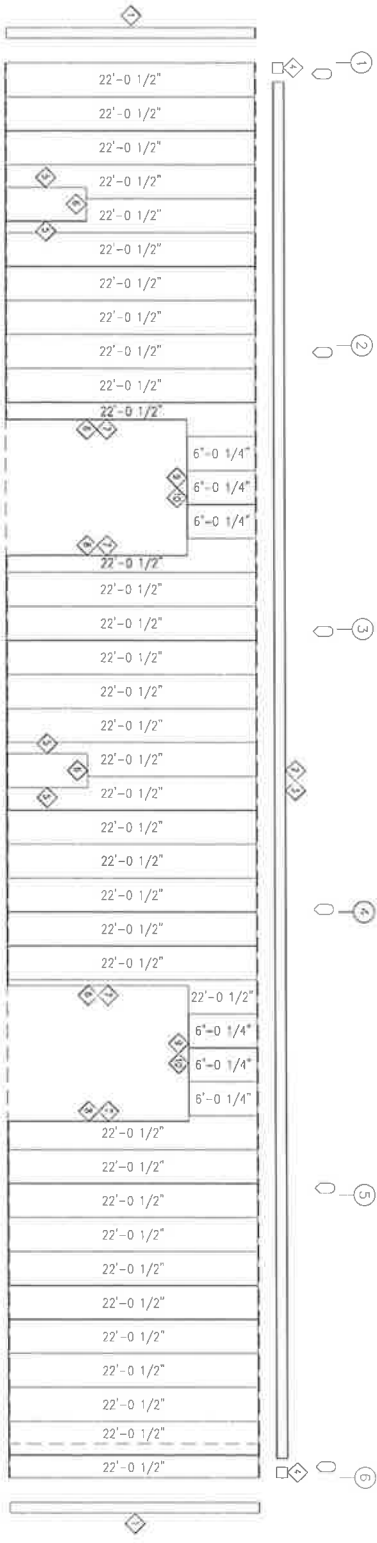
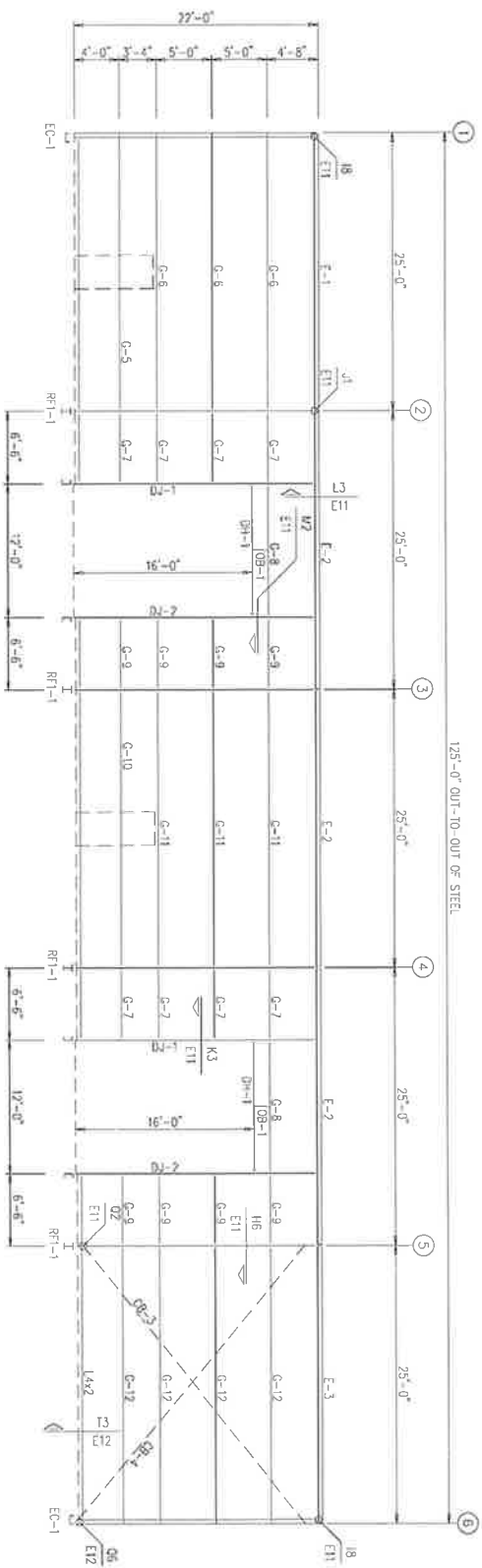
MEMBER TABLE		MEMBER	QUANTITY	UNIT
E-1	STEEL FRAMING	125'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
E-2	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
E-3	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
G-1	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
G-2	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
G-3	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
G-4	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT
G-5	STEEL FRAMING	22'-0" OUT-TO-OUT OF STEEL	1	LINEAL FOOT



05/11/2023

FOR CONSTRUCTION		DATE
REV	DESCRIPTION	DATE
A	FOR APPROVAL	4/24/23
PROJECT NAME: AD-100R		
ADDRESS: HOANGKIM, TX 76242		
CONTRACTOR: DEAN ALVES		
DRAWING: SIDEWALL FRAMING		
DATE DRAWN: 4/24/23		
SCALE: 3/16" = 1'-0"		
JOB NO: 31318523		
SHEET NO: E9		

DOWNSPOUT LOCATIONS



SIDEWALL SHEETING & TRIM: FRAME LINE D
PANELS: 26 Ga. PBR - Polar White

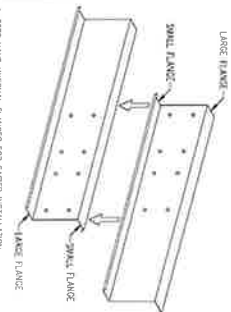
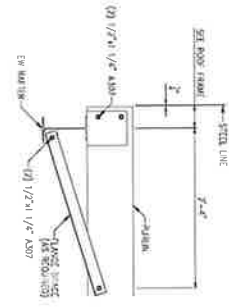
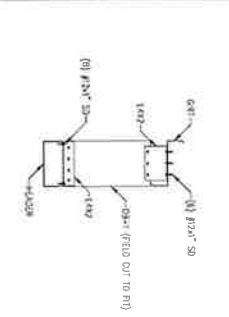
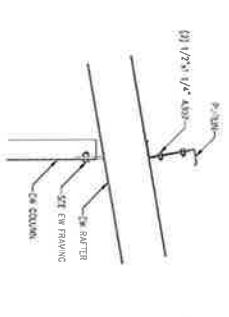
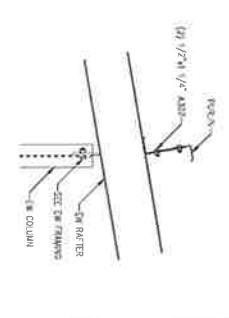
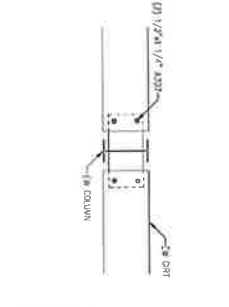
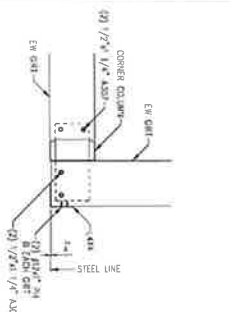
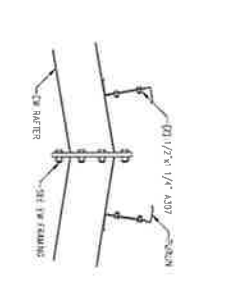
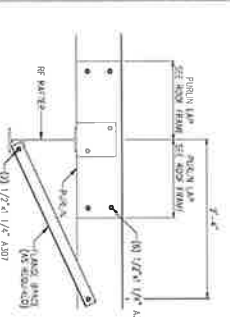
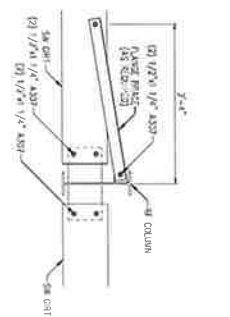
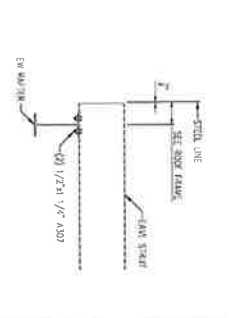
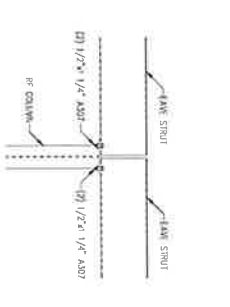
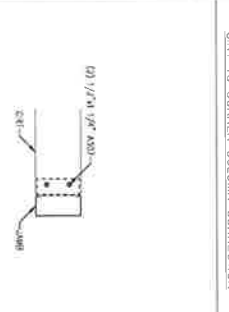
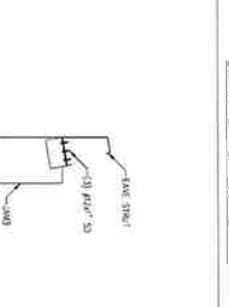
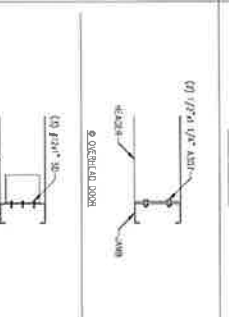
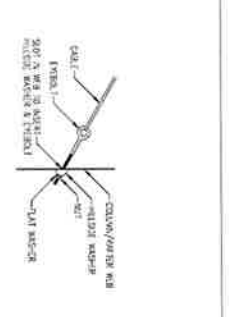
ITEM TABLE			
NO.	DESCRIPTION	QTY	UNIT
1	10" DIA. VENT	1	EA
2	10" DIA. VENT	1	EA
3	10" DIA. VENT	1	EA
4	10" DIA. VENT	1	EA
5	10" DIA. VENT	1	EA
6	10" DIA. VENT	1	EA
7	10" DIA. VENT	1	EA
8	10" DIA. VENT	1	EA
9	10" DIA. VENT	1	EA
10	10" DIA. VENT	1	EA

MATERIAL TABLE			
NO.	DESCRIPTION	QTY	UNIT
1	10" DIA. VENT	1	EA
2	10" DIA. VENT	1	EA
3	10" DIA. VENT	1	EA
4	10" DIA. VENT	1	EA
5	10" DIA. VENT	1	EA
6	10" DIA. VENT	1	EA
7	10" DIA. VENT	1	EA
8	10" DIA. VENT	1	EA
9	10" DIA. VENT	1	EA
10	10" DIA. VENT	1	EA



REV	DESCRIPTION	DATE
1	FOR CONSTRUCTION	5/10/23
2	FOR APPROVAL	4/24/23

PROJECT NAME: 400'x160'x160' METAL SYSTEMS
CONTRACTOR: SOUTHWEST METAL SYSTEMS
ADDRESS: 5295 US HIGHWAY 277, SUITE #2, AUBREY, TX 75821
DRAWING: SIDEWALL FRAMING
DATE DRAWN: 4/24/23
SCALE: 3/8"=1'-0"

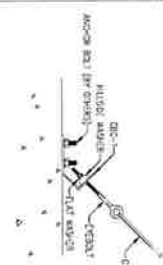
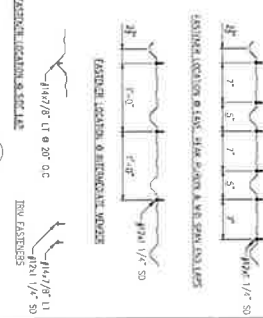
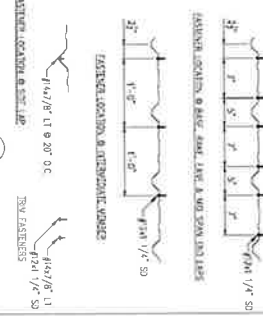
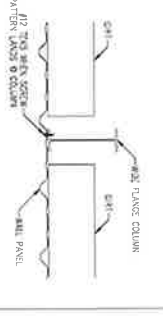
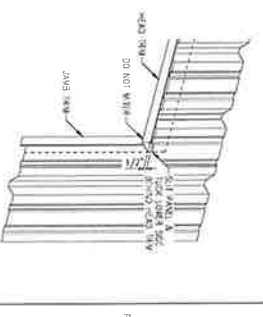
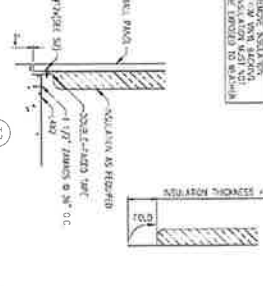
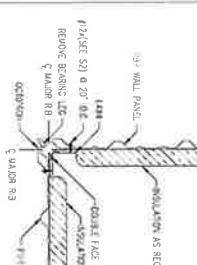
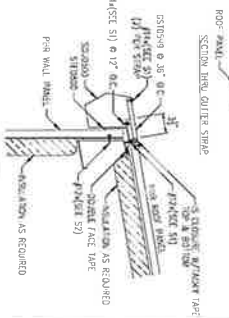
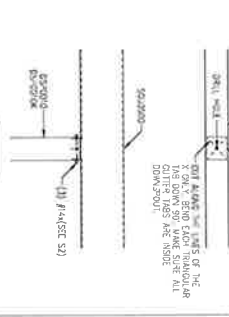
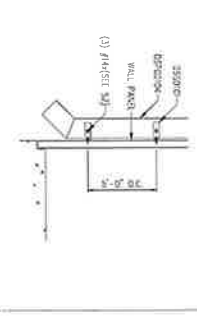
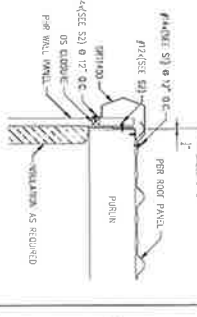
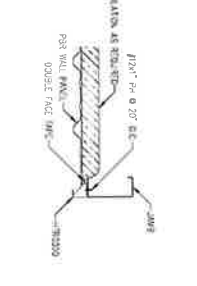
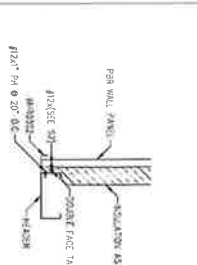
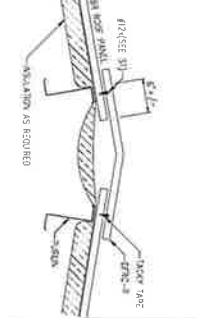
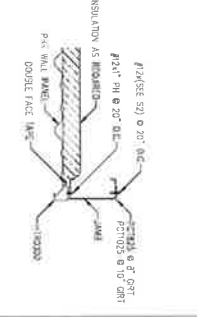
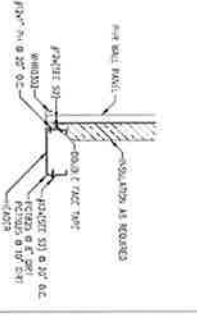
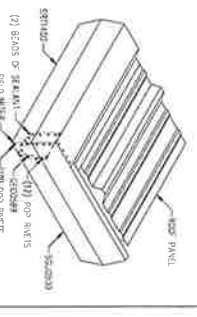
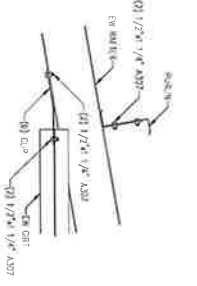
1. SEE HANG BRAGG PLATES FOR EXTERIOR INSTALLATION 2. THE LARGE FLANGE IS 1/4" WIDER THAN THE SMALL FLANGE 3. THE LARGE FLANGE IS 1/4" WIDER THAN THE SMALL FLANGE 4. A 1/2" HANGING PLATE IS REQUIRED TO THE LARGE FLANGE, IS FINISHED IN THE WEB AT BOTH ENDS OF THE ZEE ZEE LAP INSTRUCTIONS 					
GIRT TO CORNER COLUMN CONNECTION (04) 	EW RAFTER PEAK CONNECTION (F12) 	PURLIN LAP (02) 	SW GIRT TO RF COLUMN (H6) 	EAVE STRUT TO FW RAFTER (IB) 	EAVE STRUT TO RF COLUMN (J1) 
GIRT TO JAMB CONNECTION (K3) 	SIDEWALL JAMB TO EAVE STRUT CONNECTION (L3) 	HEADER TO JAMB CONNECTION (M2) 	CABLE BRACE (02) 		



05/11/2023

#	REV	DESCRIPTION	DATE
1		FOR APPROVAL	4/21/23
2		FOR APPROVAL	4/21/23
3		FOR APPROVAL	4/21/23
4		FOR APPROVAL	4/21/23
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98		FOR APPROVAL	4/21/23
99		FOR APPROVAL	4/21/23
100		FOR APPROVAL	4/21/23

12

 06 CABLE BRACE TO ANCHOR BOLT	 S1 PBR FASTENER LOCATION @ ROOF	 S2 PBR FASTENER LOCATION @ WALL	 SPECIAL SCREW @ WIDE FLANGE COLUMN	 JAMB TO HEAD TRIM	 13 BASE ANGLE
 TRIM 1 CORNER TRIM	 TRIM 2 GUTTER TRIM	 TRIM 5 DOWNSPOUT TO GUTTER CONNECTION	 TRIM 6 DOWNSPOUT STRAP	 TRIM 7 RAKE TRIM	 TRIM 9 JAMB TRIM
 TRIM 10 HEAD TRIM	 TRIM 12 RIIDGE TRIM	 TRIM 32 JAMB COVER TRIM	 TRIM 33 HEAD COVER TRIM	 TRIM 79 FIELD WATER RAKE TO GUTTER	 W3 GRT TO EW RAFTER

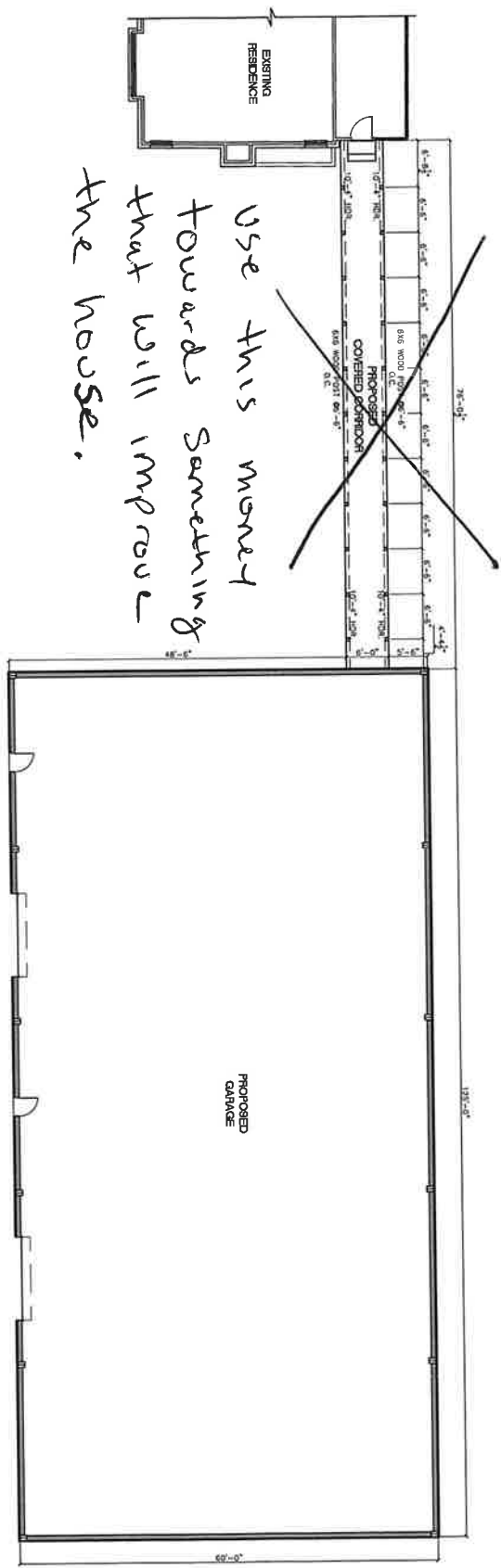


3	FOR CONSTRUCTION	5/10/23
1	FOR REVISION	4/24/23
REV	DESCRIPTION	DATE
1	2023-04-20	
2	485 NE LOOP 554 MINEOLA, TX 75773 (505) 509-5801	5235 US HIGHWAY 377 AUBREY, TEXAS 76272 (940) 381-0199
PROJECT NAME	AD-023	
ADDRESS	RODARQUE, TX 76767	
CONTRACTOR	DOHAR ALKASS	
DRAWING	DETAIL DRAWINGS	DRN BY: TJ
DATE DRAWN	4/24/23	DATE BY: WJ
SCALE	NTS	SHEET NO.
		172

13

*EDIT FOR B&B AND *

Use this money
towards something
that will improve
the house.



1 PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0" W/ 11X17 - 1/8" = 1'-0" W/ 24X36

SHEET NUMBER: A1-1	ELEVATION: A	604 DALLAS DRIVE ROANOKE, TEXAS.	PROJECT # 103071	DESIGNER: DDS GROUP	DESIGN AND DRAFT SERVICES GROUP WWW.DDSG.US SERVICES@DDSG.US PH: 469-999-0800 PH:214-966-0550 123 W. MAIN ST., SUITE 120 GRAND PRAIRE, TX 75050	DDS GROUP WWW.DDSG.US

REVISION INDEX

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DISCLAIMER:

1. THESE DRAWINGS/PLANS AND RELATED SPECIFICATIONS MEET ALL LOCAL CODE REQUIREMENTS AND ARE IN CONFORMITY WITH V.A. MINIMUM PROPERTY REQUIREMENTS, INCLUDING THE MINIMUM IRC REQUIRED BY MUNICIPALITY.
2. ANY INFORMATION NOT COVERED WITHIN THIS DRAWING IS SUBJECT TO LOCAL CITY AMENDMENTS AND REQUIREMENTS
3. ALL WORK DONE BY THE RESPECTIVE CONTRACTORS SHALL CONFORM TO THE MINIMUM RESIDENTIAL CODE AND MECHANICAL CODE REQUIRED BY MUNICIPALITY.
4. NOTE TO BUILDER: SMOKE DETECTORS SHALL BE WIRED TO COMPLY W/ MINIMUM INTERNATIONAL RESIDENTIAL CODE REQUIRED BY MUNICIPALITY. ALL PLUMBING WILL COMPLY TO THE MINIMUM IRC REQUIRED BY MUNICIPALITY.
5. PLANS / SPECIFICATIONS: NO REPRESENTATION IS MADE BY THE BUILDER AS TO THE DIMENSIONS, MATERIALS, OR CONSTRUCTION OF THE HOME. THE HOME MAY VARY FROM THE PLANS AND/OR SPECIFICATIONS SUBMITTED FOR PERMITTING, FINANCING, MODEL HOMES, OR AVAILABLE HOMES BUILT WITH SAME PLANS.

GENERAL NOTES:

1. REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
2. ALL DIMENSIONS TO BE VERIFIED AT JOBSITE.
3. SLIGHT ADJUSTMENT IN WALL LOCATIONS, UP TO 1", SHALL BE MADE IN ORDER TO GET PLUMBING IN WALLS SO LONG AS IT DOES NOT EFFECT THE FUNCTION OF FLOOR, OR ROOF TRUSSES. THIS DOES NOT RELIEF THE PLUMBER OF LIABILITY IF NOT DONE.
4. UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5. DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6. WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7. U.N.O. ALL ANGLED WALLS TO BE AT 45' DEGREES.
8. FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
9. ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED) TO BE UNDER TREADS (WATERFALL STYLE).
10. "CORNERS" AND "TS" SHALL BE TRUE, NOT CALIFORNIA STYLE.
11. ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
12. PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
13. ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
14. PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
15. SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
16. U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

CUSTOMER NAME:

CUSTOMER SIGNATURE:

DATE: _____

CUSTOMER PLEASE INITIAL ALL PAGES OF THIS SET FOR APPROVAL

RECEIVED

By Anthony Salcido at 4:05 pm, May 15, 2023



WWW.DDSQ.US SERVICES@DDSQ.US
PH: 469-999-0800 PH:214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050

DESIGNER:
OS GROUP

PROJECT #:
83071

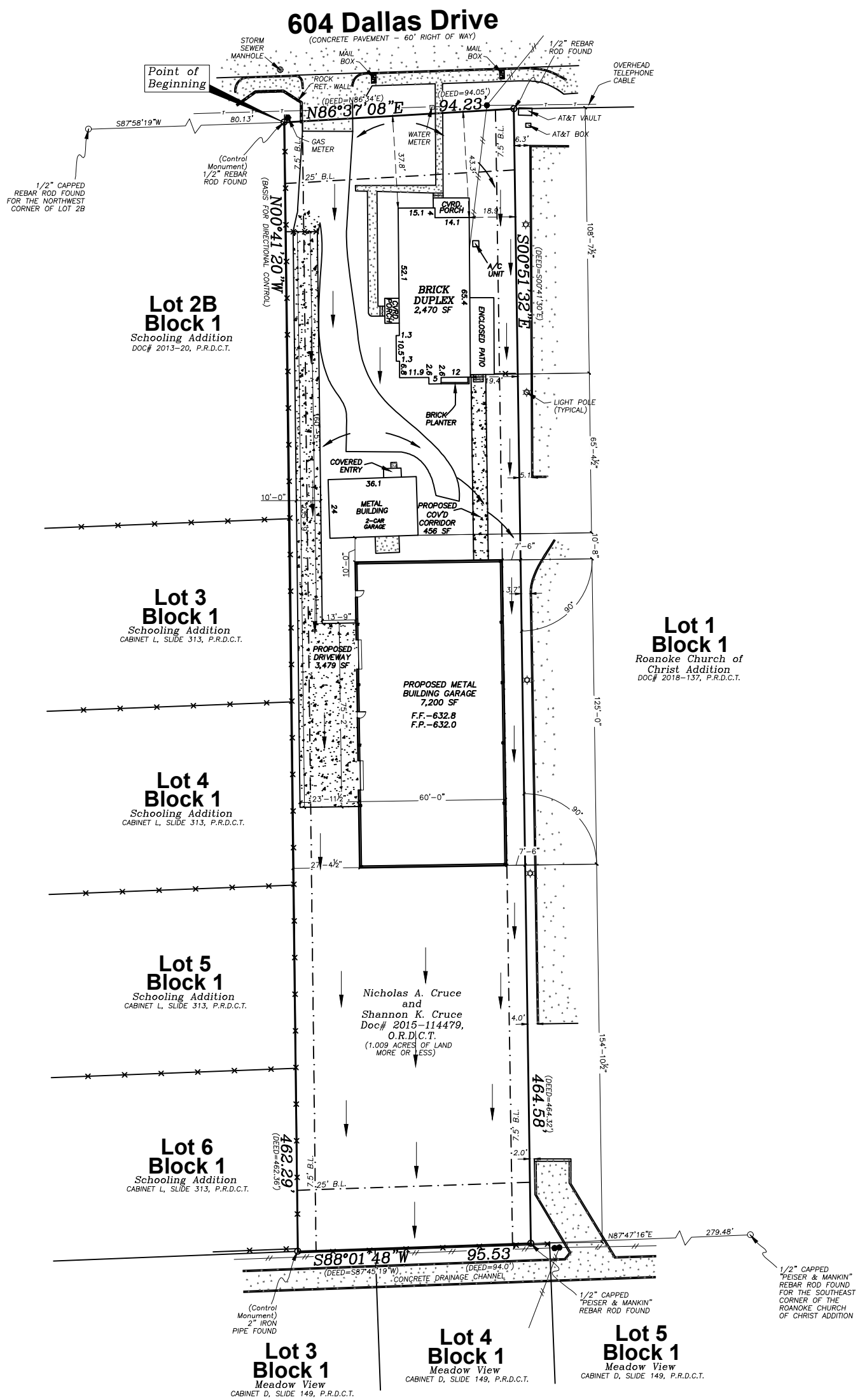
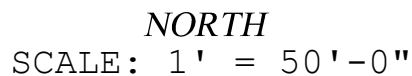
604 DALLAS DRIVE
ROANOKE, TEXAS.

ELEVATION:

A

SHEET NUMBER:

C1



LOT SF: 43,932 SF
EXISTING SINGLE FAMILY DWELING SF: 2,470 SF
TOTAL EXISTING BUILDING COVERAGE %: 5.62%
TOTAL EXISTING IMPERVIOUS COVERAGE: 6,559 SF
TOTAL EXISTING IMPERVIOUS COVERAGE %: 14.93%

LOT SF: 43,932 SF
PROPOSED SINGLE FAMILY DUELING SF: 10,126 SF
TOTAL PROPOSED BUILDING COVERAGE %: 23.04%
TOTAL PROPOSED IMPERVIOUS COVERAGE: 14,130 SF
TOTAL PROPOSED IMPERVIOUS COVERAGE %: 32.16%

CUSTOMER SIGNATURE:

DATE:

NOTES:

	- DRAINAGE FLOW	B.L. - BUILDING LINE
	- PROPOSED FENCE	D.E. - DRAINAGE EASEMENT
	- EXISTING FENCE	P.A.E. - PEDESTRIAN ACCESS EASEMENT
	- CURLEX	S.S.E. - SANITARY SEWER EASEMENT
	- RETAINING WALL	T.E. - TRANSFORMER EASEMENT
	- REQUIRED TREE PLANTING	U.E. - UTILITY EASEMENT
	- REQUIRED BUSH	W.M.E. - WALL MAINT. EASEMENT
		M.E. - MAINTENANCE EASEMENT
		V.E.- VISIBILITY EASEMENT
		4. 4. - EXPOSED AGGREGATE CONCRETE

BUILDER: DISASTER RESTORATION	DATE: 05-10-2023	
ADDITION: SCHOOLING ADDITION	DRAWN BY: DDSG-H.R.	
ADDRESS: 604 DALLAS DRIVE	CITY: ROANOKE	
LOT: 2A BLOCK: 1	PLAN: N/A ELEVATION: N/A	
PHASE: N/A	SWING: N/A	
OPTION: N/A	NOTE: ARCHITECTURAL PLANS TAKES PRECEDENCE OVER ALL DRAWINGS, ALL FINAL DECISIONS REFER TO PLANS PROVIDED BY DDSG ARCHITECTURAL DEPARTMENT. PLOT PLAN IS APPROPRIATE PLACEMENT ONLY. BUILDER CAN VARY DUE TO ACTUAL BUILDING CONDITIONS. BUILDER IS FULLY RESPONSIBLE FOR ADHERING TO ANY AND ALL BUILDING LINES OR EASEMENTS OF RECORD OR THAT MAY NOT BE NOTED ON THE RECORDED PLAT. BUILDER TO CONFIRM THAT THIS LAYOUT HAS NO CONFLICTS WITH THE INLETS OF UTILITY SERVICES. FINAL SURVEY WILL SHOW PLACEMENT OF HOUSE AND ALL FLATWORK, SUCH AS SIDEWALKS AS PRESCRIBED BY THE BUILDER. FLATWORK IS ONLY A REPRESENTATION.	

TEXAS ONE CALL SYSTEM (800-245-4545) MUST BE CONTACTED PRIOR TO ANY EXCAVATION OPERATION BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT THE TEXAS ONE CALL SYSTEM.

THE CONTRACTOR SHALL LOCATE THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES IN THE AREA OF CONSTRUCTION. THE LOCATION OF EXISTING UTILITIES ARE SHOWN BASED ON BEST AVAILABLE INFORMATION AND SHALL NOT BE TAKEN AS EXACT OF COMPLETE. THE CONTRACTOR SHALL NOTIFY THE APPLICABLE UTILITY COMPANY AT LEAST 48 HOURS PRIOR TO BEGINNING EXCAVATION NEAR THE FACILITY.

102.000.0 **X** — SPOT ELEVATION
 TP — TOP OF SWALE
 TW — TOP OF WALL
 BW — BOTTOM OF WALL

 - PROPOSED DRAINAGE
 - PROPOSED FENCE
 - EXISTING FENCE
 - CURLEX
 - RETAINING WALL
 - EXISTING GRADING
 - PROPOSED GRADING

SECTION	HARD SURFACE	RAINFALL INTENSITY	CONTRIBUTING AREA	CFS
A	0.500	9.800	1.008	4.939200

1. ALL CONSTRUCTION SHALL BE DONE IN STRICT COMPLIANCE OF THESE PLANS AND ALL APPLICABLE MUNICIPAL CODES AND STANDARDS.
2. ALL SITE PAVING TO BE DONE IN ACCORDANCE WITH THE APPROVED PAVING PLAN BY THE CITY FOR THE PROJECT.
3. ALL SITE GRADING AND SUBGRADE PREPARATION SHALL BE DONE IN ACCORDANCE TO THE RECOMMENDATIONS AS OUTLINED IN THE SOILS REPORT FOR THE SITE.
4. PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL MAKE CERTAIN THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS APPROVED BY ALL OF PERMITTING. AT THE REQUEST OF THE CLIENT, GRADING PLAN WAS ASKED TO BE PREPARED BASED ON PUBLIC TOPOGRAPHIC INFORMATION OBTAINED FROM NCTCOG MAP.DDSG AND STEVE , BARTON.CANNOT BE HELD LIABLE FOR ANY INCONSISTANCIES ASSOCIATED WITH THE USAGE OF SUCH TOPOGRAPHIC MAP. CONTRACTOR SHALL ENGAGE THE SERVICES OF A REGISTERED PROFESSIONAL SURVEYOR TO VERIFY ALL SPOT ELEVATIONS REFLECTED ON THIS DRAWING, INCLUDING THE TOP OF CURB, TOP OF ASPHALT OR PAVEMENT AND EXISTING GRADES. DESIGN ENGINEER SHALL BE CONTACTED IF THERE IS ANY INFORMATION OBTAINED FROM THE ABOVE MENTIONED SURVEY THAT IN THE OPINION OF THE CONTRACTOR WOULD AFFECT THE RECOMMENDED DESIGN ON THIS PLAN FOR CLARIFICATION, PRIOR TO THE BEGINNING OF ANY CONSTRUCTION.
5. THE CONTRACTOR SHALL MEET OSHA STANDARDS FOR TRENCH SAFETY.
6. THE CONTRACTOR SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF ANY CONSTRUCTION. IN THE EVENT OF ANY CONFLICT, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY. MINOR ADJUSTMENTS OF FINISHED GRADES TO ACCOMPLISH SPOT DRAINAGE ARE ACCEPTABLE IF NECESSARY, UPON PRIOR APPROVAL OF THE ENGINEER.
7. PRIOR TO PLACING FILL, THE SUBGRADE SHALL BE SCARIFIED TO A DEPTH OF SIX INCHES AND RECOMPACTED TO A MINIMUM OF 95% STANDARD PROCTOR AT OR SLIGHTLY ABOVE THE MOISTURE CONTENT AS DETERMINED BY ASTM D-698. FILL MATERIAL SHALL BE PLACED IN SIX TO NINE INCH LIFTS AND COMPACTED IN A SIMILAR MANNER.
8. COLLECT ROOF STORMWATER AND DISCHARGE WITH ROOF PERIMETER DRAIN AND DOWN SPROUT THROUGH THE EAST SIDE OF THE BLDG.
9. MAXIMUM EARTH GRADE = 25%. MINIMUM EARTH GRADE = 1%.
10. NO TREE SHALL BE PLANTED WITHIN 20 FEET OF THE BUILDING FOUNDATION.
11. SERVICES OF STRUCTURAL ENGINEER MUST BE ENGAGED FOR DESIGN OF RETAINING WALL WITH OVER FOUR FEET IN HEIGHT, BASED ON ALL HEIGHT AS MEASURED FROM BOTTOM OF WALL (B.W.) TO TOP OF WALL (T.W.).

1. THE LOCATION OF ALL UNDERGROUND FACILITIES AS INDICATED ON THE PLANS ARE TAKEN FROM PUBLIC RECORDS. DDSG AND STEVE BARTON ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OF SUCH RECORDS AND DOES NOT GUARANTEE THAT ALL UNDERGROUND UTILITIES ARE SHOWN OR ARE LOCATED PRECISELY AS INDICATED.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL FACILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT.
3. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND FACILITIES FOUND.
4. NOTIFY IF ANY UNDERGROUND UTILITIES ARE NOT IN THE LOCATIONS INDICATED ON THESE PLANS (HORIZONTALLY AND VERTICALLY) OR CONFLICT WITH ANY PROPOSED IMPROVEMENTS ASSOCIATED WITH THESE PLANS.
5. ANY EXISTING UTILITY APPURTENANCES (MH, VALVES, METER BOXES, ETC.) TO BE ADJUSTED TO MATCH THE PROPOSED FINISHED GRADES AS INDICATED ON THESE PLANS. NOTIFY IF THERE IS A PROBLEM MAKING SAID ADJUSTMENTS.



SCALE: 1" = 50'-0"

GRADING PLAN

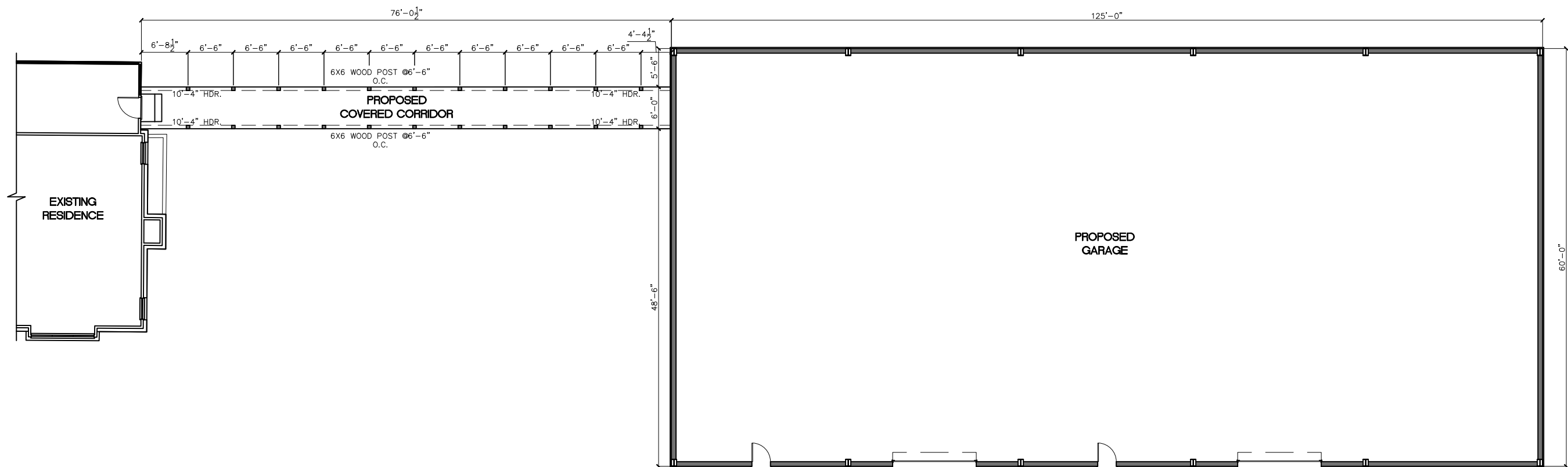
G1

DDS GROUP PH - (469) 999-0800
123 W. MAIN ST. GRAND PRAIRIE TX.
SERVICES•DDSG.US
WWW.DDSG.US

JSB ENGINEER (F-20338)
19285 HORSESHOE DR.
NEVADA, TX. 75173
(214) 843-6223
JSBENGINEERTX@GMAIL.COM



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1 PROPOSED FLOOR PLAN
SCALE: 1/16" = 1'-0" W/ 11X17 - 1/8" = 1'-0" W/ 24X36

- GENERAL NOTES
1.

REPORT ANY AND ALL DISCREPANCIES, ERRORS OR OMISSIONS IN THE DOCUMENTS TO THE BUILDER/ARCHITECT PRIOR TO THE ORDERING OF ANY MATERIALS AND/OR THE COMMENCEMENT OF CONSTRUCTION.
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4.

UNDER NO CIRCUMSTANCES SHALL ANY DIMENSION BE SCALED FROM THESE DRAWINGS. ANY CRITICAL DIMENSIONS NOT GIVEN SHALL BE BROUGHT TO THE ATTENTION OF THE BUILDER/ARCHITECT PRIOR TO CONSTRUCTION.
5.

DOOR AND WINDOW ROUGH OPENINGS SHALL BE SUCH THAT OUTSIDE EDGES OF ADJACENT DOOR, WINDOW, AND TRANSOM TRIM IS ALIGNED, UNLESS OTHERWISE NOTED.
6.

WINDOW SIZES GIVEN ARE APPROXIMATE UNIT SIZES. VERIFY ACTUAL SIZES AND ROUGH OPENING REQUIREMENTS WITH MANUFACTURER.
7.

U.N.O. ALL ANGLED WALLS TO BE AT 45' DEGREES.
8.

FRAME ALL DOORS 3" FROM CORNERS WHERE POSSIBLE U.N.O.
9.

ALL WALLS AT OPEN SIDES ON STAIRS (NO 1/2 WALL NOTED)TO BE UNDER TREADS (WATERFALL STYLE).
10.

"CORNERS" AND "T'S" SHALL BE TRUE, NOT CALIFORNIA STYLE.
11.

ALL INTERIOR AND EXTERIOR CORNERS SHALL HAVE MOIST-STOP RAN VERTICALLY UNDER THE SHEATHING.
12.

PROVIDE ATTIC VENTING AT REAR OR SIDE OF ROOF AS REQUIRED PER PLANS AND CODE.
13.

ALL BATHROOM MIRRORS TO BE INSERTED 1" FROM EDGE OF COUNTERTOPS.
14.

PROVIDE FIRE-RATED SHEETROCK AT UTILITY/ GARAGE COMMON WALLS AND CEILINGS AS REQUIRED BY CODE.
15.

SEE BUILDER SPECIFICATIONS FOR ADDITIONAL INFORMATION.
16.

U.N.O. FIREPLACE BOX TO BE SET ON 8" CONC. BLOCK W/ 20" DEEP FLUSH HEARTH THAT EXTENDS 12" MIN. BEYOND OPENING AS REQUIRED BY CODE.

SQUARE FOOTAGE TABLE

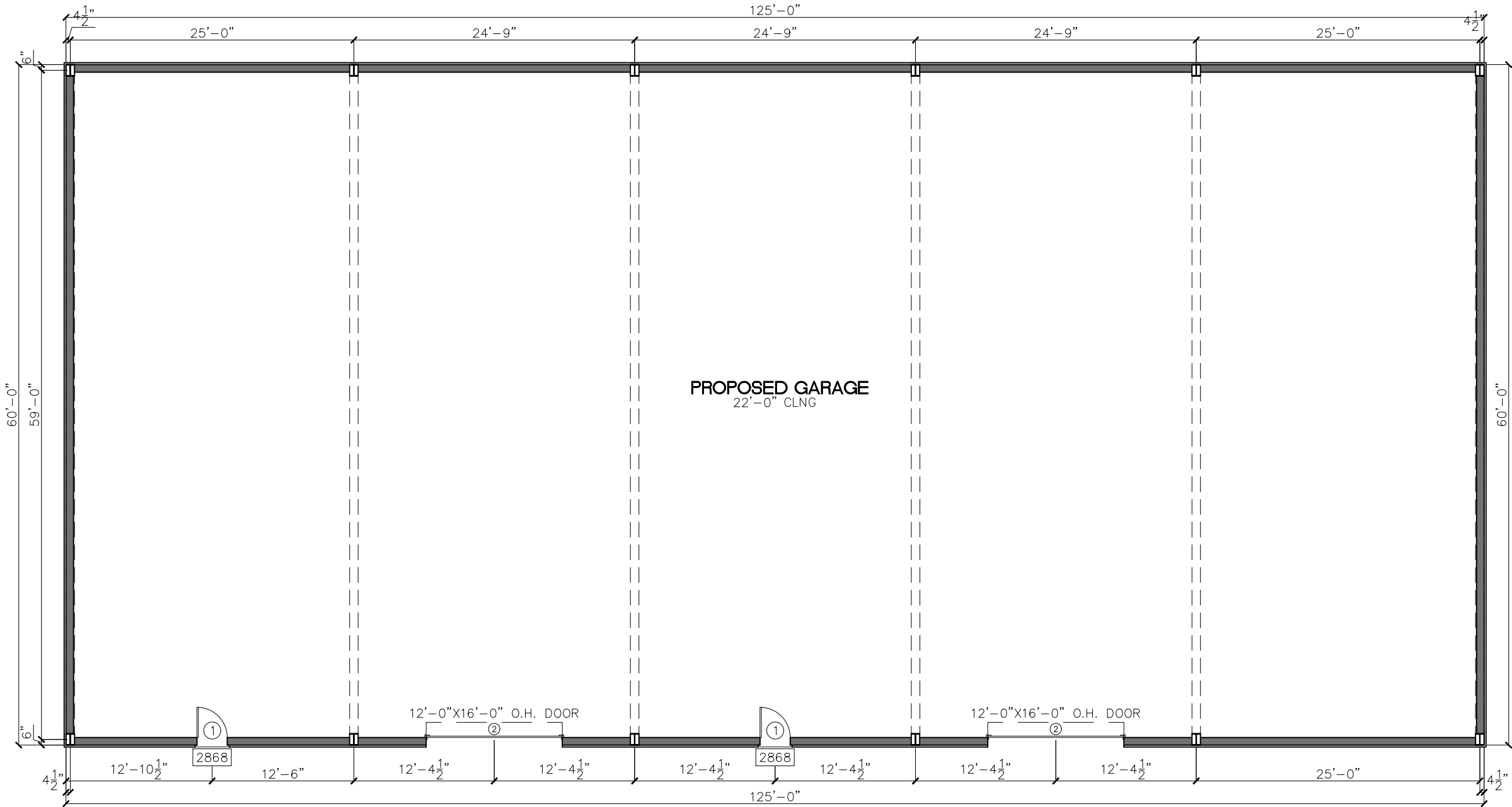
AREA	
EXISTING BUILDING	2,470 SF
PROPOSED ADDITION	7,200 SF
TOTAL LIVING	9,670 SF
PROPOSED HALLWAY	456 SF
TOTAL COMBINED	10,126 SF
TOTAL NEW SLAB	7656 SF

MASONRY LEGEND

	STONE		BRICK
-------------	-------	-------------	-------

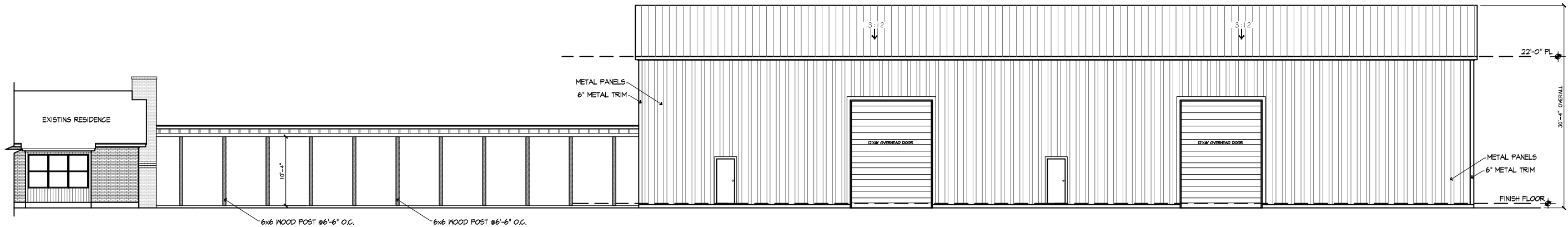
DOOR SCHEDULE

ID	QTY	TYPE	DESCRIP.
1	2	2868	EXTERIOR INSULATED DOOR
2	2	120160	GARAGE OVERHEAD



1 METAL BUILDING FLOOR PLAN

SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36



1 FRONT ELEVATION

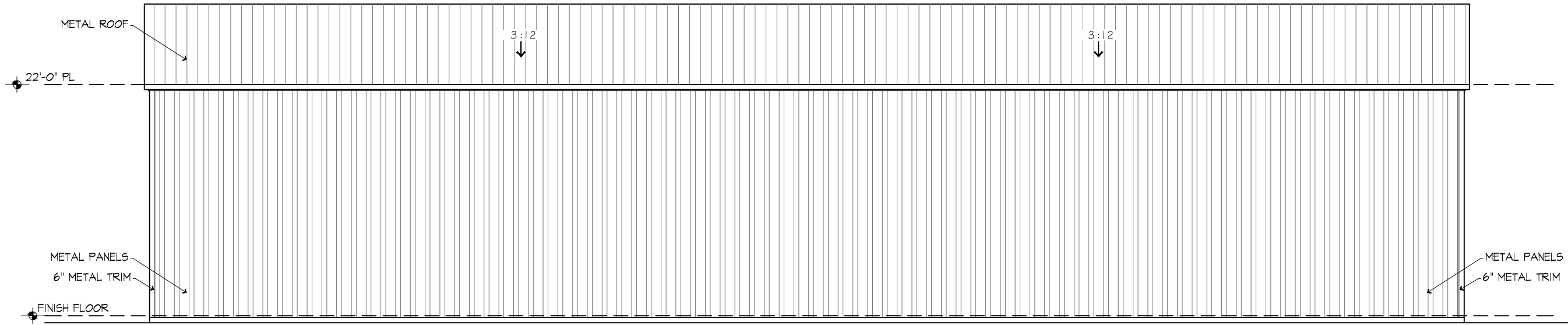
SCALE: 1/16" = 1'-0" W/ 11X17 - 1/8" = 1'-0" W/ 24X36



2 LEFT ELEVATION

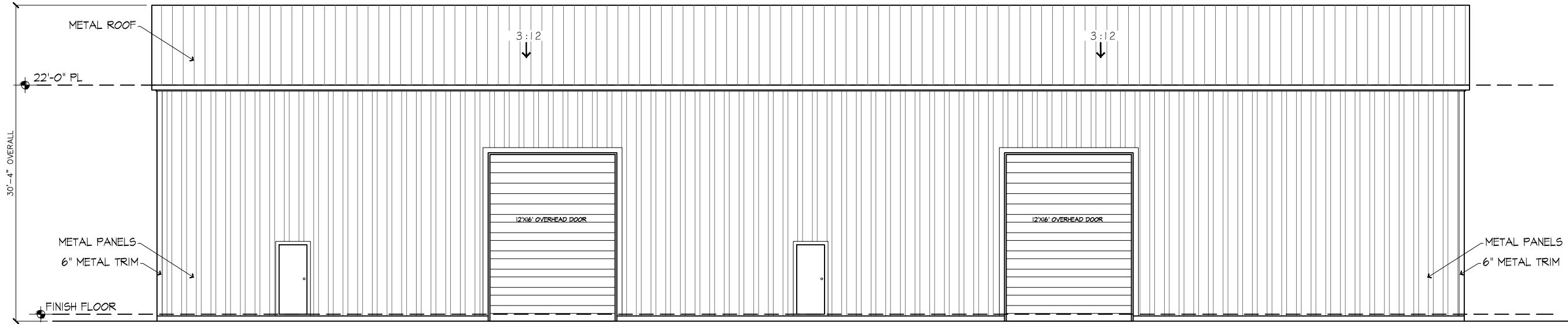
SCALE: 1/16" = 1'-0" W/ 11X17 - 1/8" = 1'-0" W/ 24X36

MASONRY CALCULATIONS				
AREA	METAL P.	%SDNG.	MASON.	%MAS.
REAR	2,684 SF	100.0%	0 SF	0.0%
FRONT	2,204 SF	100.0%	0 SF	0.0%
LEFT	1,509 SF	100.0%	0 SF	0.0%
RIGHT	1,509 SF	100.0%	0 SF	0.0%
TOTAL	7,906 SF	100.0%	0 SF	0.0%
TOTAL STONE 0 SF				
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



1 METAL BUILDING REAR ELEVATION

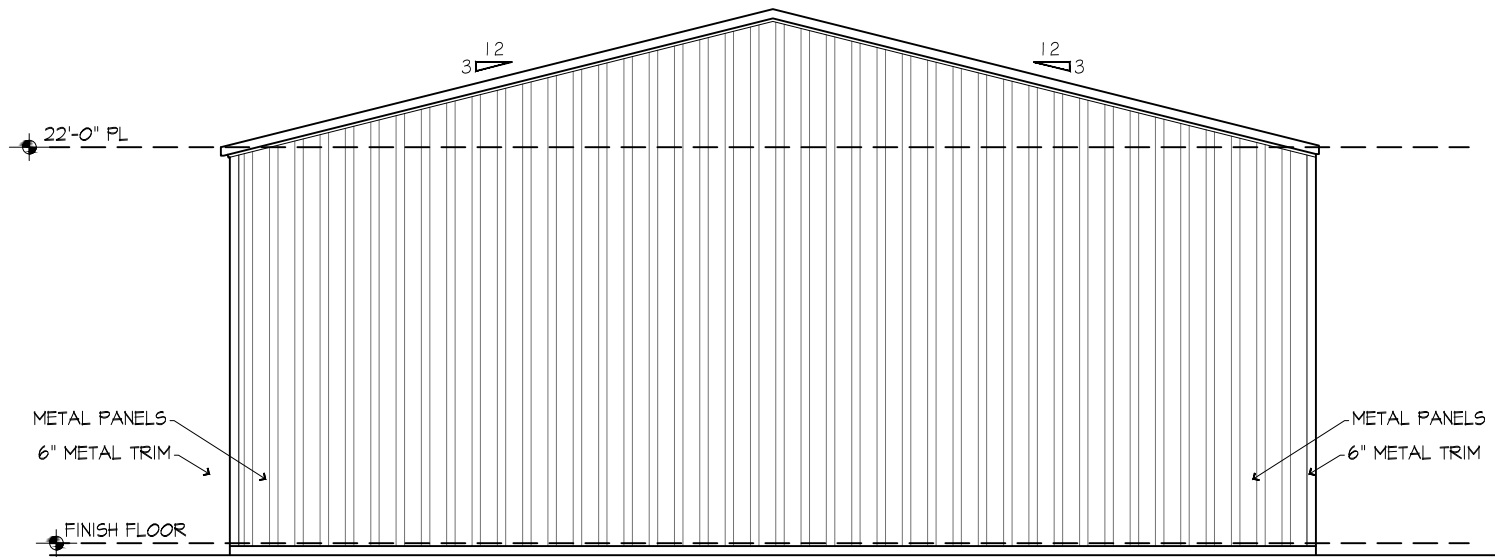
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36



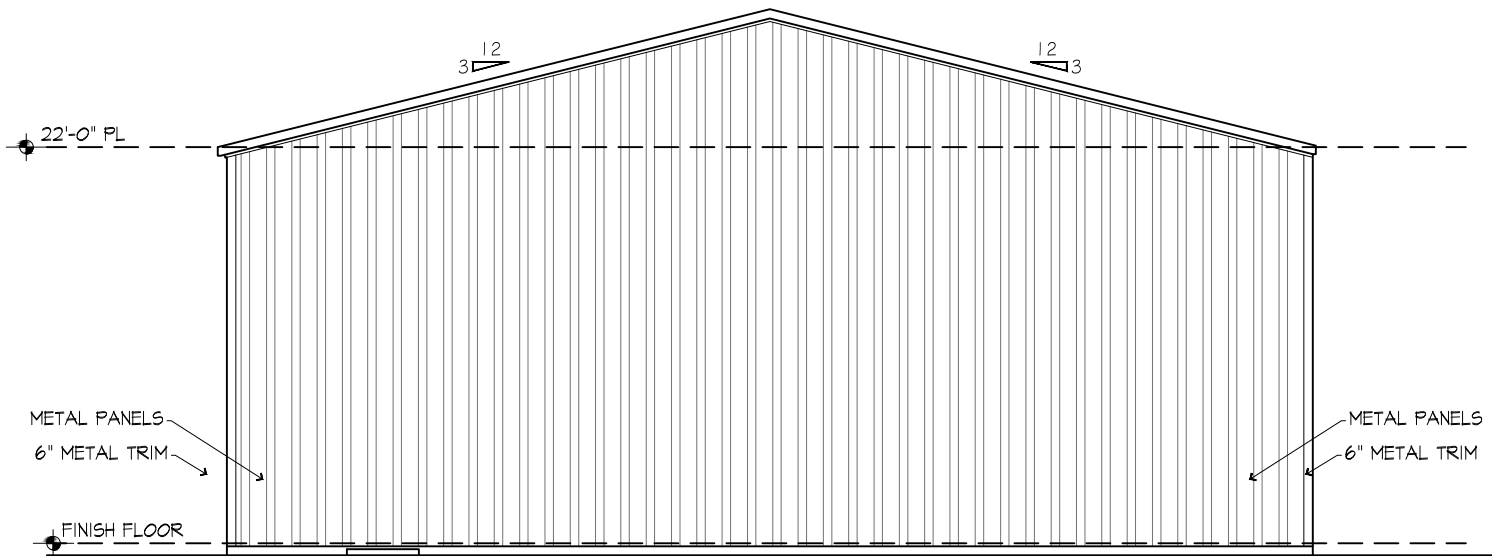
2 METAL BUILDING FRONT ELEVATION

SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36

MASONRY CALCULATIONS				
AREA	METAL P.	%SDNG.	MASON.	%MAS.
REAR	2,684 SF	100.0%	0 SF	0.0%
FRONT	2,204 SF	100.0%	0 SF	0.0%
LEFT	1,509 SF	100.0%	0 SF	0.0%
RIGHT	1,509 SF	100.0%	0 SF	0.0%
TOTAL	7,906 SF	100.0%	0 SF	0.0%
TOTAL STONE			0 SF	
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				

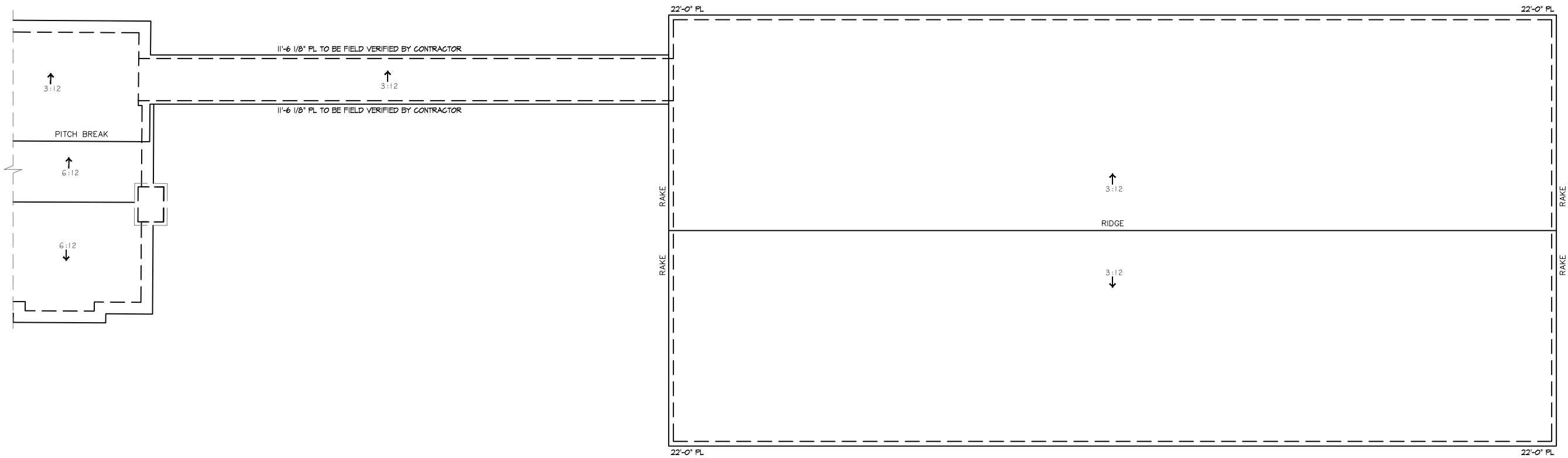


1 METAL BUILDING LEFT ELEVATION
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36



2 METAL BUILDING RIGHT ELEVATION
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36

MASONRY CALCULATIONS				
AREA	METAL P.	%SDNG.	MASON.	%MAS.
REAR	2,684 SF	100.0%	0 SF	0.0%
FRONT	2,204 SF	100.0%	0 SF	0.0%
LEFT	1,509 SF	100.0%	0 SF	0.0%
RIGHT	1,509 SF	100.0%	0 SF	0.0%
TOTAL	7,906 SF	100.0%	0 SF	0.0%
TOTAL STONE			0 SF	
TOTAL STONE AREA IS INCLUDED IN MASONRY CALCULATIONS				



1 PROPOSED ROOF PLAN
SCALE: 1/16" = 1'-0" W/ 11X17 - 1/8" = 1'-0" W/ 24X36

MEP NOTES

1. ALL MECHANICAL, ELECTRICAL & PLUMBING WORK TO CONFORM TO LOCAL, STATE & NATIONAL CODES, WHICH SHALL TAKE PRECEDENCE OVER THESE DRAWINGS. REPORT ANY ERRORS, DISCREPANCIES OR OMISSIONS TO THE BUILDER/ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION.

2. LOW VOLTAGE FOR THERMOSTAT TO BE PROVIDED BY HVAC SUBCONTRACTOR.

3. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUF. RECOMMENDATIONS.

4. EXACT LOCATION OF HVAC UNITS MAY VARY WITH FINAL FRAMING.

5. ALL ACCENT & RECESSED LIGHT FIXTURES TO BE CAREFULLY CENTERED ON THEIR RESPECTIVE, CABINETS, NICHES, ETC.

6. U.N.O. ALL BOTTOM OF LIGHT SWITCHES TO BE 48" A.F.F.

7. LIGHT FIXTURES OVER VANITIES AT 6"-10" A.F.F. TO CENTER.

8. LIGHT FIXTURES AT POWDER ROOM WITH 9'-0" CLNG. TO BE 7'-4" A.F.F TO CTR.

9. EXTERIOR COACH LIGHT FOR GARAGE (IF APPLICABLE) TO BE 6'-6" ABOVE GARAGE FLOOR TO CENTER.

10. U.N.O. WALL SCONCES TO BE AT 6'-8" ABOVE FLOOR TO THE CENTER OF ROUGH-IN BOX.

11. PATIO LIGHTS TO BE 6'-6" TO CTR ABOVE PATIO FLOOR U.N.O.

12. FRONT PORCH LIGHTS TO BE 6'-6" TO CENTER ABOVE PORCH FLOOR U.N.O.

13. HOSE BIBS TO BE 24" ABOVE FINISH GRADE (ASSUME 4" FILL) THIS MEANS TO STUB THROUGH SLAB ON HIGH FOUNDATIONS.

14. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY
14. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY SUBDIVISION REQUIREMENTS FOR WATER HEATER, FURNACE, FIREPLACE, COOK TOPS & RANGES.

15. ROUTE ALL FLUES & VENTS TO REAR ROOF SLOPE WHERE POSSIBLE, OTHERWISE TO SIDE. NO VENTS SHALL PROTRUDE THROUGH THE FRONT ELEVATION.

16. WATER PIPES FOR SHOWERHD. TO BE STUBBED OUT AT 6'-6" A.F.F.

17. WHEN APPLICABLE, GAS LOG LIGHTER TO BE 16" TO SIDE OF FIREPLACE & 16" OFF THE FLOOR WHENEVER POSSIBLE.

18. ALL DRYER VENTS TO BE 8" ABOVE FINISHED FLOOR TO THE CENTER OF VENT.

19. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES W/BATT BACKUP.

20. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.

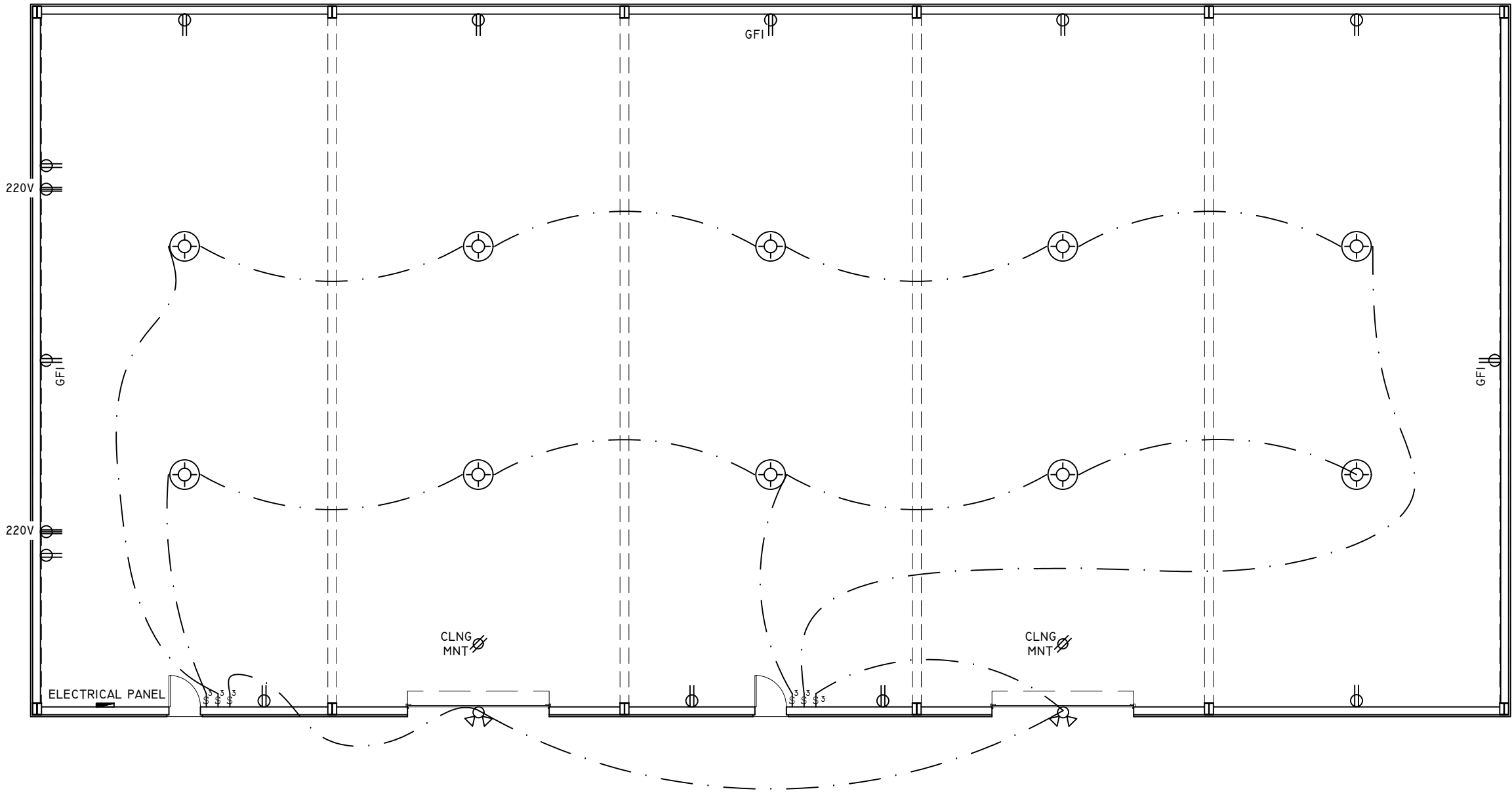
21. CUSTOMER NOTE: THE EXACT LOCATION OF PLUGS, SWITCHES, THERMOSTATS, & LIGHTS WILL VARY BASED ON FRAMING MEMBER LOCATIONS & FIELD ADJUSTMENTS.

22. SMOKE DETECTORS TO BE IN EVERY BEDROOM, IN HALLS ADJACENT TO BEDROOMS, ON EACH STORY, AND AT STAIRS GOING UP. COMPLY WITH NFPA.

23. CARBON MONOXIDE DETECTORS TO BE INSTALLED WHERE REQUIRED BY MUNICIPALITY. DETECTORS TO BE PLACED WITHIN 10'-0" OF SLEEPING AREAS. COMBINATION DETECTOR UNITS MAY BE USED.
- SEE SCOPES OF WORK & CONST. SPECS FOR ADDITIONAL INFO.

ELECTRICAL LEGEND

— · —	ELECTRICAL WIRE		RECESSED EYEBALL		I/O OUTLET		2-WAY SWITCH
	RECESSED INCANDESCENT		RECESSED CAN		GFI		3-WAY SWITCH
	CEILING MOUNTED FIXTURE		HANGING SHOP LIGHT		WP		4-WAY SWITCH
	HANGING LIGHT		UNDER-CABINET FLUORESCENT		QUAD		JAMB SWITCH
	SURFACE MOUNTED LED		DOOR BELL		220V		DIMMER SWITCH
	WALL MOUNTED		CHIMES		CLNG MNT		EXHAUST FAN
	SCONCE		SMOKE DETECTOR		FLR		ELECTRICAL PANEL
	DOUBLE FLOOD LIGHT		CARBON MONOXIDE DETECTOR		FLR		FAN / LIGHT
	SINGLE FLOOD UP-LIGHT		COMBO SMOKE + CO DETECTOR		SPK		



1 METAL BUILDING ELECTRICAL PLAN
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36

MEP NOTES

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2. LOW VOLTAGE FOR THERMOSTAT TO BE PROVIDED BY HVAC SUBCONTRACTOR.

3. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUF. RECOMMENDATIONS.

4. EXACT LOCATION OF HVAC UNITS MAY VARY WITH FINAL FRAMING.

5. ALL ACCENT & RECESSED LIGHT FIXTURES TO BE CAREFULLY CENTERED ON THEIR RESPECTIVE, CABINETS, NICHES, ETC.

6. U.N.O. ALL BOTTOM OF LIGHT SWITCHES TO BE 48" A.F.F.

7. LIGHT FIXTURES OVER VANITIES AT 6"-10" A.F.F. TO CENTER.

8. LIGHT FIXTURES AT POWDER ROOM WITH 9'-0" CLNG. TO BE 7'-4" A.F.F TO CTR.

9. EXTERIOR COACH LIGHT FOR GARAGE (IF APPLICABLE) TO BE 6'-6" ABOVE GARAGE FLOOR TO CENTER.

10. U.N.O. WALL SCONCES TO BE AT 6'-8" ABOVE FLOOR TO THE CENTER OF ROUGH-IN BOX.

11. PATIO LIGHTS TO BE 6'-6" TO CTR ABOVE PATIO FLOOR U.N.O.

12. FRONT PORCH LIGHTS TO BE 6'-6" TO CENTER ABOVE PORCH FLOOR U.N.O.

13. HOSE BIBS TO BE 24" ABOVE FINISH GRADE (ASSUME 4" FILL) THIS MEANS TO STUB THROUGH SLAB ON HIGH FOUNDATIONS.

14. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY
14. ALL GAS SERVICE, CONNECTIONS & FIXTURES TO BE DETERMINED BY SUBDIVISION REQUIREMENTS FOR WATER HEATER, FURNACE, FIREPLACE, COOK TOPS & RANGES.

15. ROUTE ALL FLUES & VENTS TO REAR ROOF SLOPE WHERE POSSIBLE, OTHERWISE TO SIDE. NO VENTS SHALL PROTRUDE THROUGH THE FRONT ELEVATION.

16. WATER PIPES FOR SHOWERHD. TO BE STUBBED OUT AT 6'-6" A.F.F.

17. WHEN APPLICABLE, GAS LOG LIGHTER TO BE 16" TO SIDE OF FIREPLACE & 16" OFF THE FLOOR WHENEVER POSSIBLE.

18. ALL DRYER VENTS TO BE 8" ABOVE FINISHED FLOOR TO THE CENTER OF VENT.

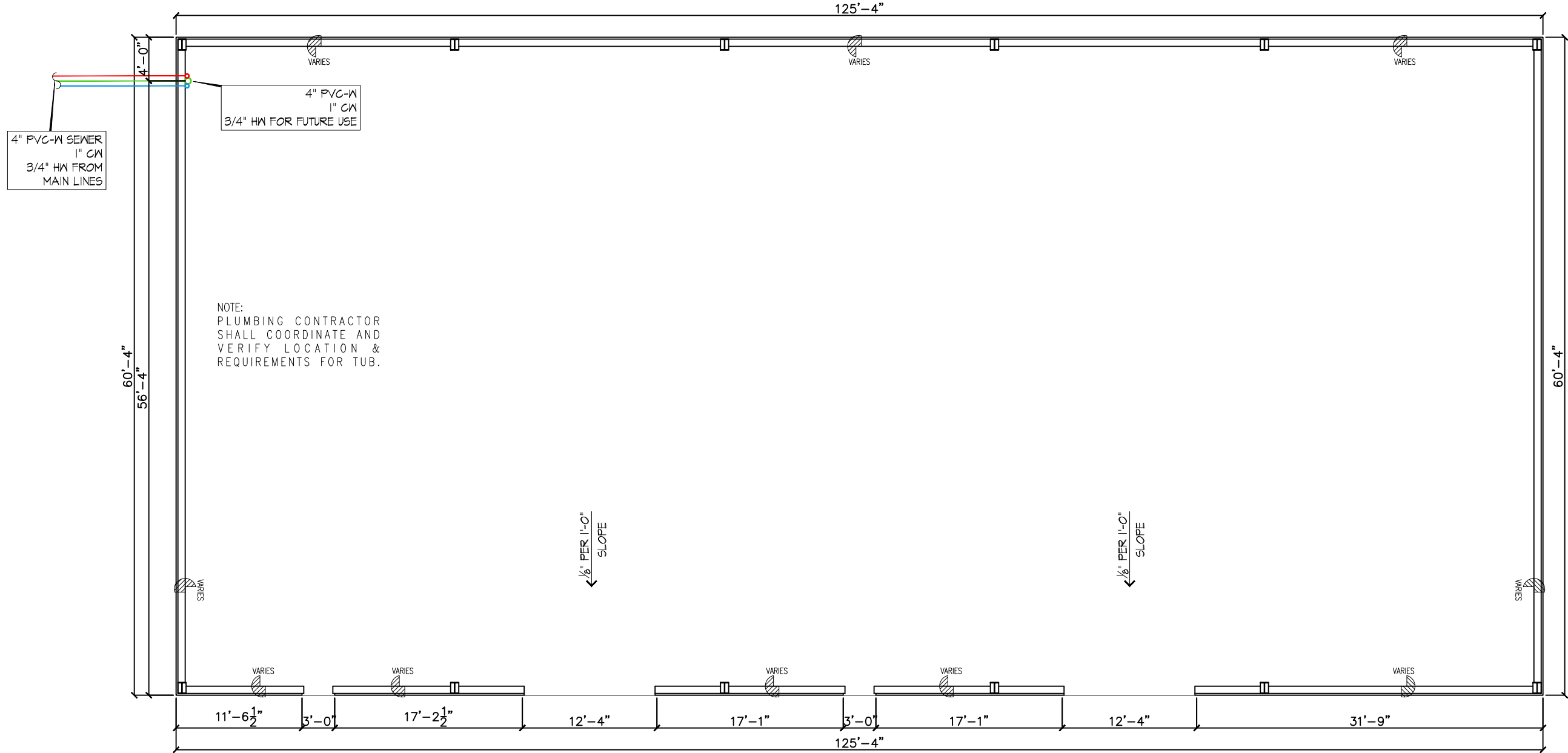
19. SMOKE ALARMS SHALL BE HARD WIRED IN SERIES W/BATT BACKUP.

20. ELECTRICIAN TO SUPPLY POWER TO ALL EQUIPMENT & APPLIANCES AS REQUIRED PER MANUFACTURER'S RECOMMENDATIONS.

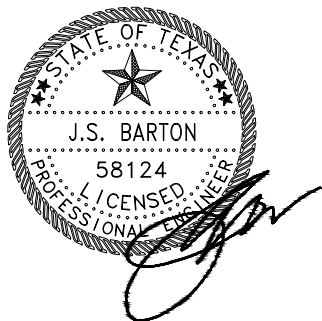
21. CUSTOMER NOTE: THE EXACT LOCATION OF PLUGS, SWITCHES, THERMOSTATS, & LIGHTS WILL VARY BASED ON FRAMING MEMBER LOCATIONS & FIELD ADJUSTMENTS.

22. SMOKE DETECTORS TO BE IN EVERY BEDROOM, IN HALLS ADJACENT TO BEDROOMS, ON EACH STORY, AND AT STAIRS GOING UP. COMPLY WITH NFPA.

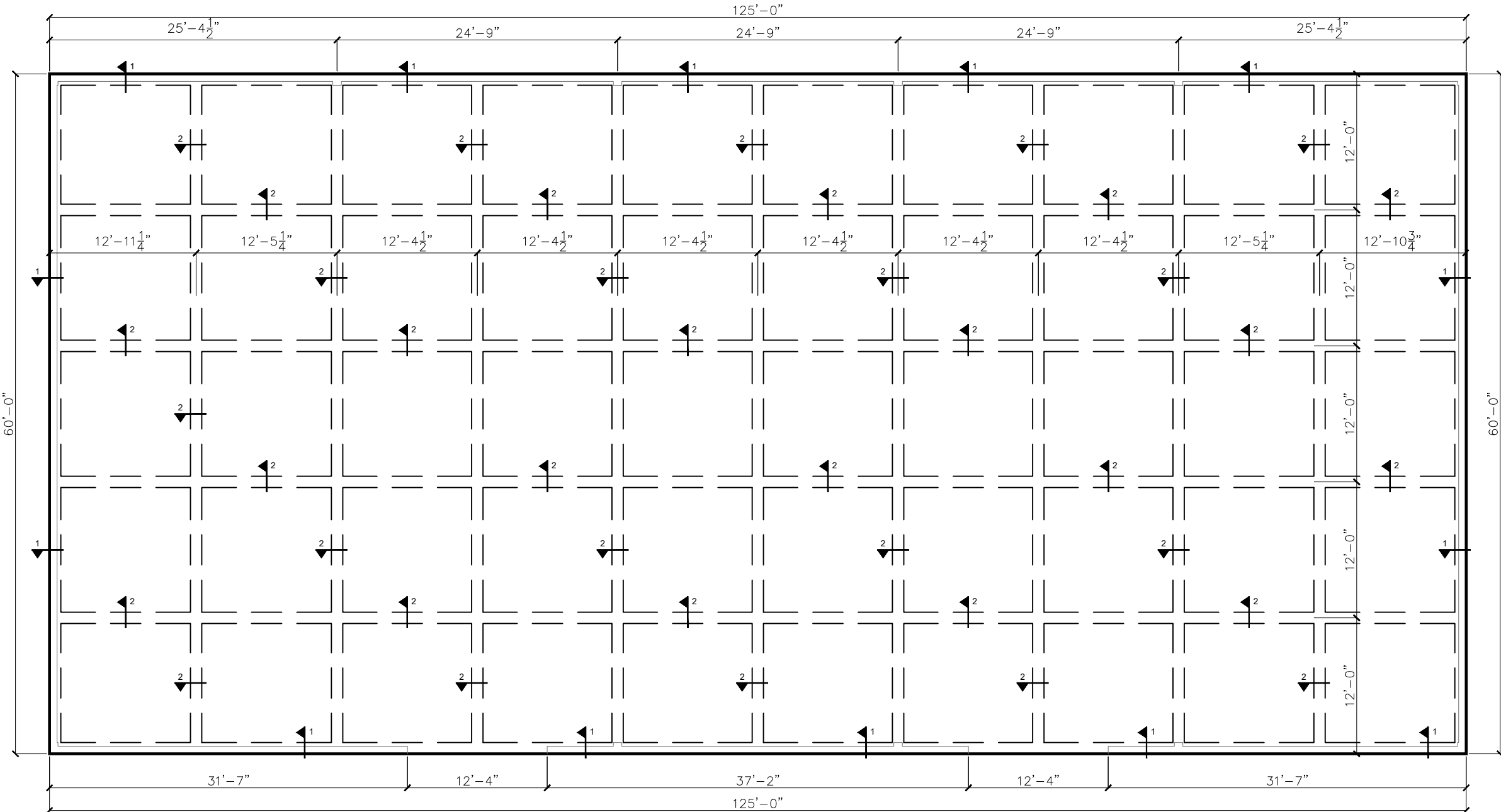
23. CARBON MONOXIDE DETECTORS TO BE INSTALLED WHERE REQUIRED BY MUNICIPALITY. DETECTORS TO BE PLACED WITHIN 10'-0" OF SLEEPING AREAS. COMBINATION DETECTOR UNITS MAY BE USED.
- SEE SCOPES OF WORK & CONST. SPECS FOR ADDITIONAL INFO.



1 METAL BUILDING PLUMBING PLAN
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36



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1 FOUNDATION PLAN
SCALE: 3/32" = 1'-0" W/ 11X17 - 3/16" = 1'-0" W/ 24X36

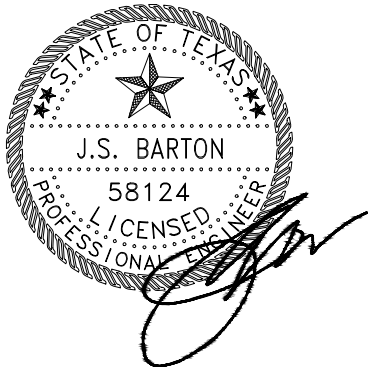
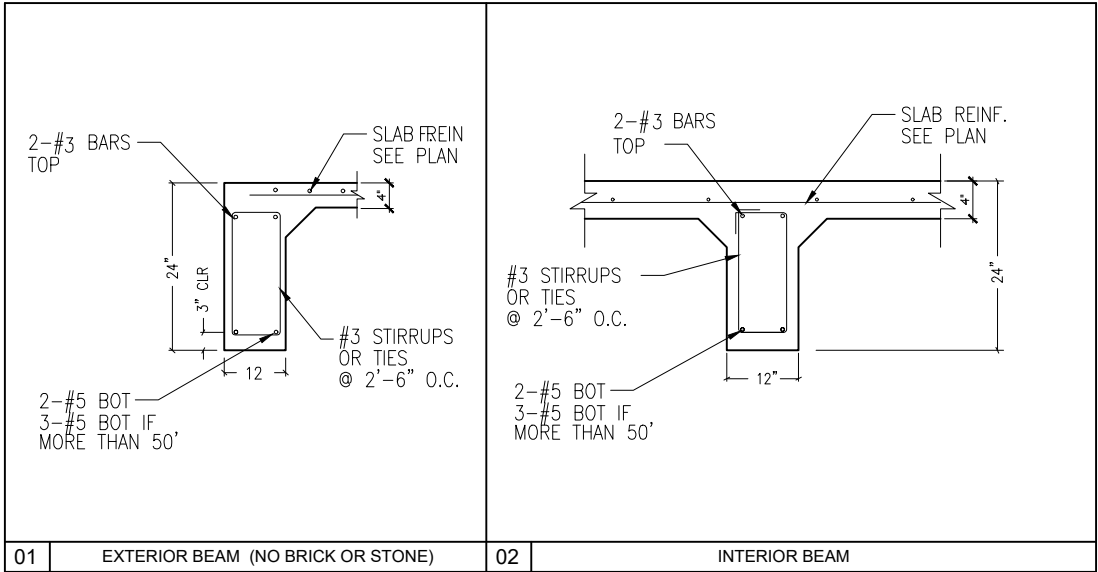
GENERAL NOTES

- CAST IN PLACE CONCRETE
1. CAST-IN-PLACE SHALL CONFORM TO ACI 318-95.
 2. REINFORCING STEEL SHALL BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH ACI-315 DETAILING MANUAL.
 3. CONCRETE SHALL BE NORMAL WEIGHT WITH A MINIMUM OF 3,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS WITH A MINIMUM 5 STACKS PORTLAND CEMENT PER CUBIC YARD.
 4. MILD STEEL REINFORCING BARS SHALL BE ASTM A615, GRADE 60.
 5. 5. PROVIDE ONE #5 BAR OR MATCHING SIZE CORNER BAR X 4'-0" LONG (2'-0" EACH LEG) FOR EACH HORIZONTAL BAR AT CORNER IN GRADE BEAM.
 6. BARS CALLED FOR AS CONTINUOUS SHALL HAVE STAGGERED LAPS 40 BAR DIAMETERS (2'-0" MINIMUM).
 7. LAP TOP REINFORCING IN GRADE BEAMS AT MID SPAN. LAP BOTTOM REINFORCING IN GRADE BEAMS AT PIERS.
 8. PROVIDE STANDARD BEND IN ALL TOPS BARS AT END SPANS OF GRADE BEAMS.
 9. MINIMUM CONCRETE COVER OVER REINFORCING BARS SHALL BE:
3" FOR CONCRETE CAST AGAINST SOIL.
2" FOR CONCRETE EXPOSED TO WEATHER.
1 3/4" FOR TOP AND SIDE OF GRADE BEAMS NOT EXPOSED TO WEATHER

- SITE SEPARATION NOTES
1. EXCAVATIONS SHALL CONFORM TO THE LINES AND GRADES SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
 2. IT IS THE CONTRACTORS RESPONSIBILITY TO LOCATE EXISTING UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL EXERCISE CAUTION WHILE EXCAVATING TO AVOID DAMAGE TO UNDERGROUND UTILITIES. CONTRACTOR SHALL INFORM UTILITY OWNERS IN ADVANCE TO IDENTIFY, LOCATE, REROUTE OR MAKE OTHER ADJUSTMENTS IN ORDER FOR WORK TO PROCEED WITH MINIMUM DELAY.
 3. ALL FOUNDATION EXCAVATIONS SHOULD BE PROPERLY MONITORED TO ENSURE THAT UNDESIRABLE (LOOSE) MATERIALS ARE REMOVED.
 4. EXPOSED SOILS SHOULD BE PROTECTED AGAINST RAIN AND EXCESSIVE DRYING.
 5. SELECT FILL MATERIAL WITH A PI BELOW 25 SHOULD BE COMPACTED TO A DRY DENSITY OF 95% STANDARD PROCTOR (AST, D 698), WITH A MOISTURE CONTENT OF 2% (+/-) OPTIMUM.
 6. CLAY SOILS WITH A PI EQUAL TO OR GREATER THAN 25 SHOULD BE COMPACTED TO A DRY DENSITY OF 95% STANDARD PROCTOR (ASTM D 698), WITH A MOISTURE CONTENT OF 0% TO A 4% ABOVE OPTIMUM AT TIME OF PLACEMENT.
 7. COMPACTION OF FILL SHOULD BE ACCOMPLISHED WITH A MAXIMUM OF 8" LOOSE LIFTS.
 8. FIELD DENSITY AND MOISTURE CONTENT TEST ARE RECOMMENDED TO ENSURE ADEQUATE COMPACTION.
 9. REMOVE EXISTING SOIL TO A DEPTH OF 2" AND REPLACE WITH SELECT FILL TO CONTAIN A PI OF 14 OR LESS.

- CONSTRUCTION NOTES
1. SITE, SUB-GRADE, CONCRETE AND CURSING SHALL CONFORM TO ACI 302 "RECOMMENDED PRACTICE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION"
 2. SITE GRADING AND DRAINAGE AROUND FOUNDATION SHALL BE MAINTAINED AT ALL TIMES IN SUCH A MANNER THAT SURFACE WATER WILL NOT CONNECT AROUND SLAB. ADEQUATE POSITIVE DRAINAGE SHALL BE PROVIDED SLOPING AWAY FROM FOUNDATION WITH A MINIMUM SLOPE OF 2-5% (1/4-5/8 IN/FT) FOR A MINIMUM DISTANCE OF 5'-0" FROM FOUNDATION EDGE.
 3. FINAL GRADES SHALL HAVE POSITIVE DRAINAGE (SLOPING AWAY FROM SLAB). A MINIMUM OF 6" CLEARANCE BETWEEN TOP OF SLAB AND OR BRICK-LEDGE AND SOIL SURFACE SHALL BE MAINTAINED.
 4. BEAM TRENCHES SHALL BE CLEAN PER PLAN. BEAM BOTTOMS SHALL BE FOUNDED IN AT LEAST 12" OF UNDISTURBED SOIL OR PROPERLY COMPACTED FILL, UNLESS PIERS HAVE BEEN SPECIFIED.
 5. AT CONTRACTORS OPTION, A SAND CUSHION OR THIN LAYER OF SELECT FILL MAY BE USED AS TOP LAYER FROM PAD. EXISTING SOILS MAY BE USED AS LONG AS THEY PRESENT NO HAZARD TO POLY VAPOR BARRIER.
 6. A LAYER OF A 6 MIL POLYETHYLENE WITH LAPPED JOINTS BETWEEN SAND/EXISTING MATERIAL AND SLAB IS REQUIRED UNLESS INDICATED OTHERWISE.
 7. SLAB REINFORCING BARS SHALL BE SUPPORTED BY CHAIRS SPACED AT A 4' MAXIMUM INTERVAL, AND TIED AT ALL INTERSECTIONS TO PREVENT MOVEMENT DURING CONCRETE PLACEMENT.
 8. CONSTRUCTION JOINTS ARE PROHIBITED UNLESS INDICATED OTHERWISE.
 9. CONCRETE SHALL BE VIBRATED TO ENSURE CONSOLIDATION.
 10. CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS PRIORY TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY DISCREPANCIES.
 11. WHERE DISCREPANCIES BETWEEN FOUNDATION PLAN AND ARCHITECTURAL PLANS ARE NOTED, ARCHITECTURAL PLANS SHALL CONTROL.
 12. COORDINATE STRUCTURAL DRAWINGS WITH ARCHITECTURAL DRAWINGS FOR ALL OPENINGS, DROP, INSERTS, SLOPES, BRICK-LEDGES AND RELATED ITEMS.
 13. IF SOLID SOLID ROCK IS ENCOUNTERED DURING TRENCHING OF BEAMS, BEAM DEPTH MAY BE REDUCED, BUT MIST MAINTAIN A MINIMUM OF 12" SOIL COVER UPON FINAL GRADE.
 14. PLUMBING LINES SHALL NOT BE LOCATED ALONG SIDE OR IN BEAM TRENCHES.
 15. SIDEWALKS AND DRIVES SHALL BE GRADED TO SLOP AWAY FROM FOUNDATION TO ELIMINATE AND PREVENT POUNDING OF WATER.
 16. TREES AND SHRUBS SHOULD NOT BE LOCATED CLOSER TO FOUNDATION AND THAT A HORIZONTAL DISTANCE EQUAL TO ROUGHLY ONE-HALF THE MATURE HEIGHT OF TREE OR SHRUB UNLESS PIERS ARE SPECIFIED.

- SLAB SHALL BE 4 INCH CONCRETE REINFORCED WITH #3 BARS AT 16 IN. O.C. EACH WAY POSITIONED IN THE CENTER OF SLAB, U.N.O.
- CONSTRUCTOR SHALL WATER PAD 72 HOURS CONTINUOUS PRIOR TO CONSTRUCTION OF FOUNDATION DURING UNUSUALLY DRY CONDITIONS.
1. SLAB THICKNESS = 4"
 2. BEAM DEPTH = MIN. 24"
 3. BEAM WIDTH = 12"



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DESIGN AND DRAFT SERVICES GROUP
WWW.DDSG.US SERVICES@DDSG.US
PH: 469-999-0800 PH:214-966-0550
123 W. MAIN ST., SUITE 120
GRAND PRAIRE, TX 75050

DESIGNER:
DDS GROUP

PROJECT #:
183071

604 DALLAS DRIVE
ROANOKE, TEXAS.

ELEVATION:
A

SHEET NUMBER:
F2

BUILDING INFORMATION		
JOB No:	3131BMS23	
PROJECT NAME:	ADHDR	
CONTRACTOR:	DORIAN ALVES	
PROJECT ADDRESS:	604 DALLAS DR ROANOKE, TX 76262	
SIZE:	60'–0" x 125'–0" x 22'–0"	
LEFT / RIGHT SLOPE:	3.0:12 / 3.0:12	
ROOF PANEL:	PBR	
GAGE:	26	
COLOR:	Charcoal Gray	
WALL PANEL:	PBR	
GAGE:	26	
COLOR:	Polar White	
ROOF TRIM COLOR:	Charcoal Gray	
WALL TRIM COLOR:	Charcoal Gray	
EAVE CONDITION:	STYLE=Standard	
FRONT WALL GUTTER:	STYLE=Standard	
GUTTER LENGTH:	125	
BACK WALL GUTTER:	STYLE=Standard	
GUTTER LENGTH:	125	
PRIMARY FRAMING:	RO	RO: RED OXIDE
SECONDARY FRAMING:	RO	GP: GRAY PRIMER HD: HD GALVANIZED PG: PRE–GALVANIZED
ADDT'L. ACCESSORIES:	SEE QUOTE FORM	
ADDT'L. CONDITIONS:	.	
SPECIAL NOTES:	.	
BUILDING CODE:	IBC 18	
ROOF LIVE LOAD:	20.00	
ROOF SNOW:	5	
GROUND SNOW:	5.0000	
WIND SPEED:	107	
COLLATERAL LOADS:	7	
EXPOSURE:	B	

1. Unloading, handling and proper storage of the Steel Building package is the responsibility of the Erector and/or End User. Roof and wall panels must be kept dry prior to installation. Elevating one end of panel bundles is recommended to encourage drainage in case of rain.
2. Any and all damaged or shorted materials are to be reported within 24 hours of unloading. Check all materials with the Bill of Materials.
3. Unloading of Building Materials should be done with the appropriate lifting equipment such as crane, forklift or Skytrac due to the heavy nature of the parts involved.
4. All bracing, strapping and bridging shown on the erection drawings for this building is a requirement. They shall be installed by the Erector as a permanent part of the structure. It is the responsibility of the Erector to determine and provide temporary bracing to secure the building during the erecting process until permanent bracing can be installed.
5. Claims for correction of alleged misfits will not be allowed unless Southwest Metal Systems has received prior notice thereof and is allowed reasonable time to inspect such alleged misfits. The correction of minor misfits by the use of drift pins to draw the components in line, moderate reaming, chipping and cutting and the replacement of minor shortages of materials are a normal part of the erection process and are not subject to claim. No part of the building may be returned for alleged misfits without the prior approval of Southwest Metal Systems.
6. Jobsite safety is a priority. Erector are to wear OSHA approved hard hats, safety glasses, safety harnesses, gloves and steel toe boots at all times. Fall protection must be provided during roof and wall panel installation. OSHA guidelines and regulations are to be followed in all phases of building erection.
7. Foundation design by others. Anchor bolts shall be set accurately to a tolerance of $\pm 1/8$ ” in both elevation and location. All column base plates are set at Finish Floor elevation unless noted otherwise.
8. Wall insulation, if required, is to be kept a minimum of 1 1/2” from the bottom of the wall panel to avoid “wicking” up behind the wall panel.
9. Closure Strips are provided at roof application only (unless noted on drawings). Inside closure provided at roof eave only when insulation is NOT provided. See details for additional Closure applications.
10. Southwest Metal Systems assumes no responsibilities or liabilities for delays or back charges caused by deliveries not arriving on time.
11. Metal filings and shavings created from the fastener drilling process are to be cleaned off of the roof and wall panels the same day of panel installation. Failure to do so will void the panel’s warranty, as metal filings and shavings will rust and damage the finish of the roof and wall panels.
12. Roll Sealant (tacky tape) required on all roof panel laps for roof with slopes of 1:12 and lower.
13. These Drawings are Erection Drawings Only. They are not Construction Documents.
14. Wall panels must be installed with 1/4” clearance from Concrete foundation. Failure to do so voids Wall Panel Warranty.
15. Insulation at base of wall shall be installed in such a manner that does not allow moisture wicking. Fold insulation liner as shown on Base Detail. Failure to do so Voids Wall Panel Warranty.

GENERAL NOTES



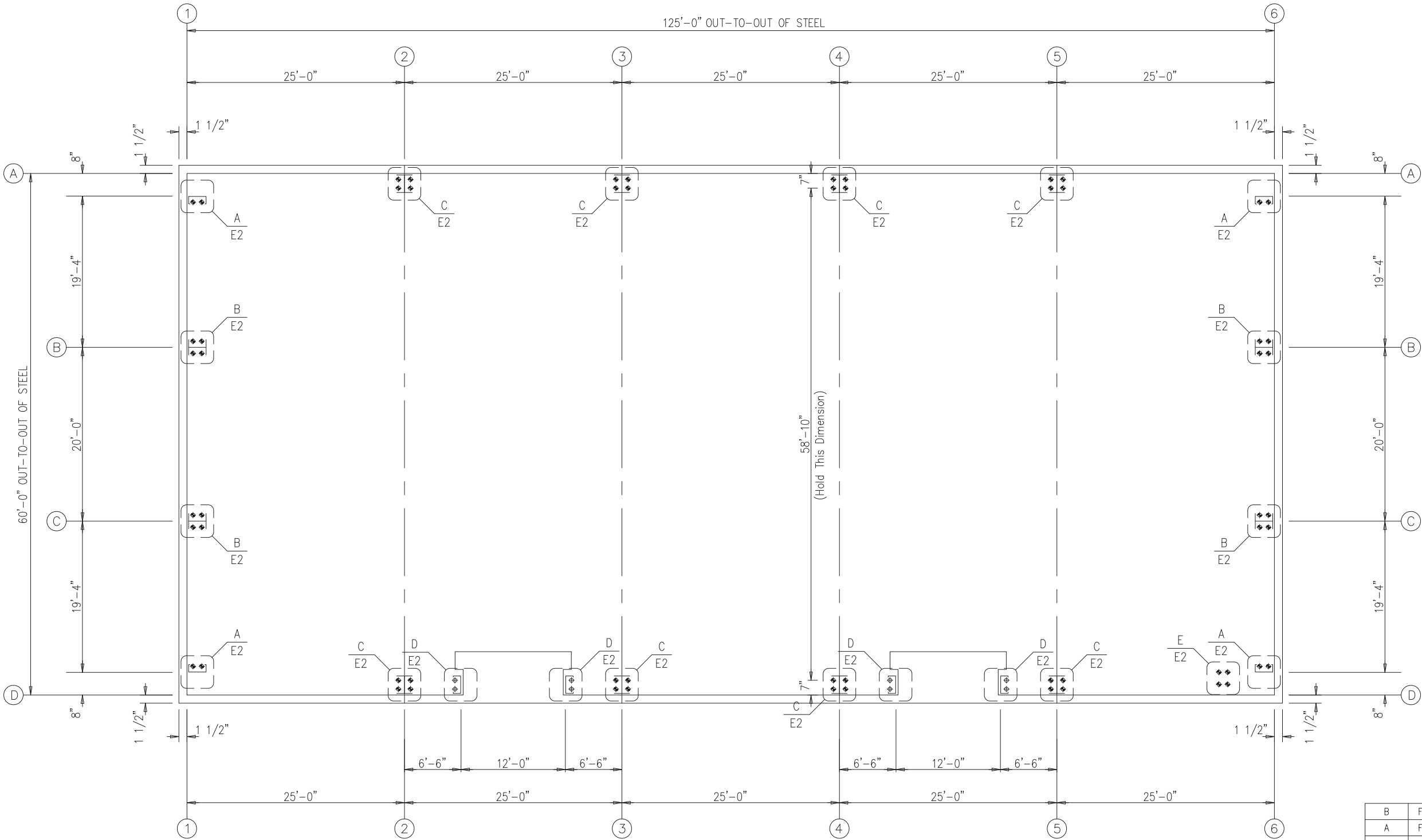
05/11/2023

T&Z Consulting Services, LLC
Texas Registered Engineering Firm F-19297
1428 N Shevlin Court
Sewickley, PA 15143

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569–8811		
		
5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381–0191		
PROJECT NAME: ADHDR		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE:	COVER PAGE	DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMS23 SHEET No. Page 39 of 63

ANCHOR BOLT SUMMARY

Qty	Locate	Dia (in)	Type	Total Len (in)	Proj (in)
8	Jamb	5/8"	WEDGE	5.00	1.25
24	Endwall	3/4"			2.50
32	Frame	3/4"			2.50
4	BraceAnc	3/4"			2.50

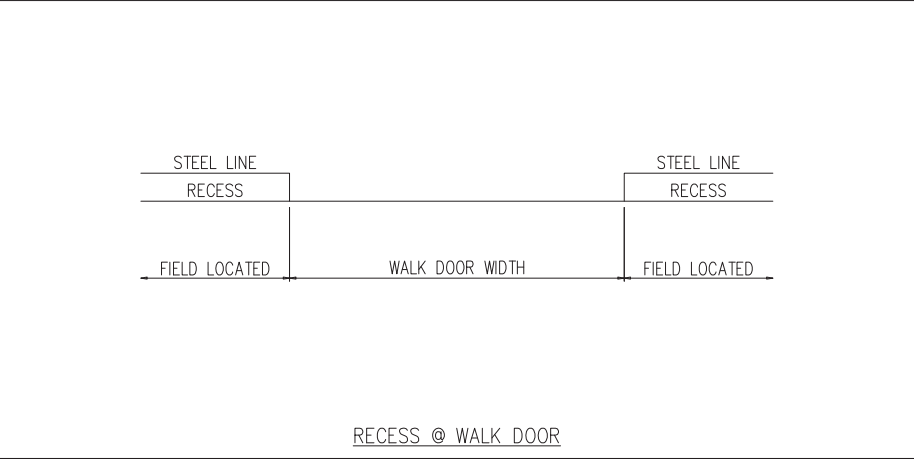
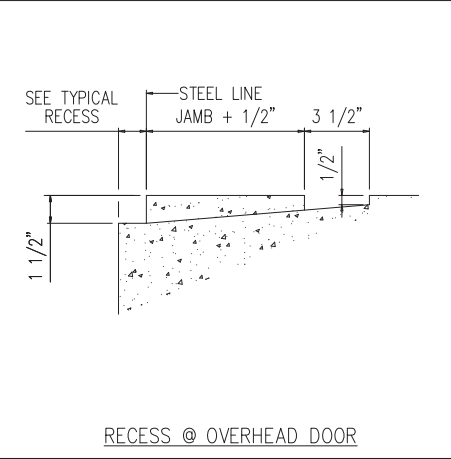
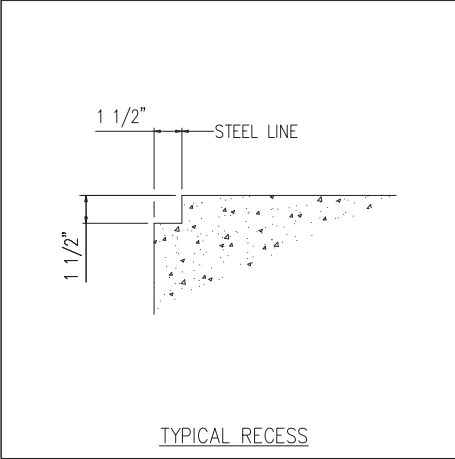
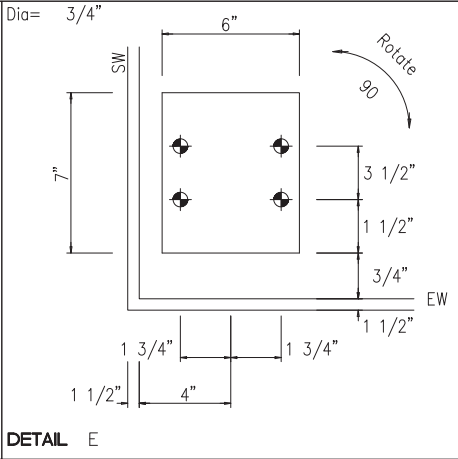
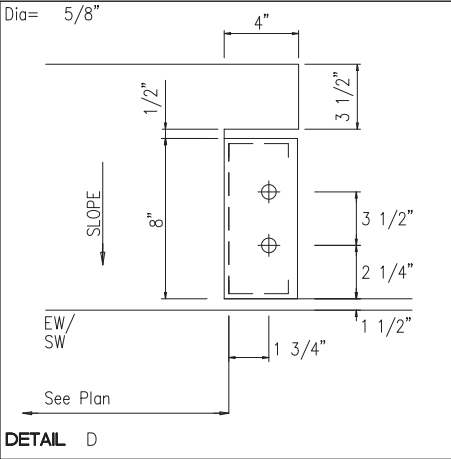
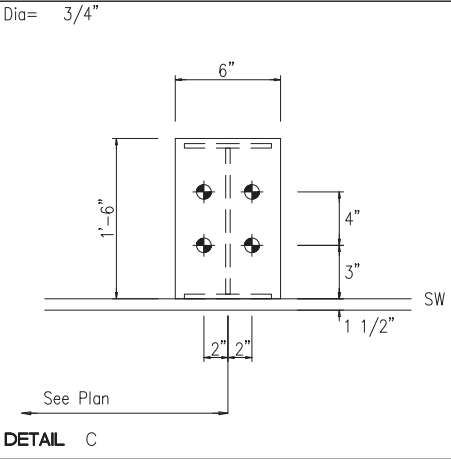
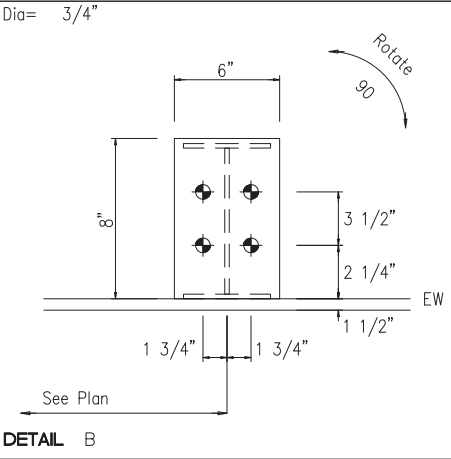
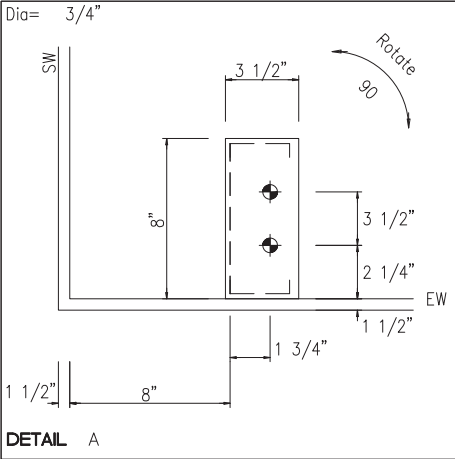


ANCHOR BOLT PLAN

NOTE: All Base Plates @ 100'-0" (U.N.)



05/11/2023		
B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811  5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE: ANCHOR BOLT PLAN		DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMS22 SHEET No. Page 40 of 63



05/11/2023

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811 SOUTHWEST METAL SYSTEMS 5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE: ANCHOR BOLT DETAILS		DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BM0227 SHEET No. 41 of 63

NOTES FOR REACTIONS

1. All loading conditions are examined and only maximum/minimum H or V and the corresponding H or V are reported.

2. Positive reactions are as shown in the sketch. Foundation loads are in opposite directions.

3. Bracing reactions are in the plane of the brace with the H pointing away from the braced bay. The vertical reaction is downward.

4. Building reactions are based on the following building data:

Width (ft)

=

60.0

Length (ft)

=

125.0

Eave Height (ft)

=

22.0/ 22.0

Roof Slope (rise/12)

=

3.0/ 3.0

Dead Load (psf)

=

2.5

Collateral Load (psf)

=

7.0

Roof Live Load(psf)

=

20.0

Frame Live Load(psf)

=

12.0

Snow Load (psf)

=

5.0

Wind Speed (mph)

=

107.0

Wind Code

=

IBC 18

Exposure

=

B

Closed/Open

=

C

Importance Wind

=

1.00

Importance Seismic

=

1.00

Seismic Zone

=

B

Seismic Coeff (Fa*Ss)

=

0.17

5. Loading conditions are:

1 Dead+Collateral+Live

2 Dead+Collateral+0.75Live+0.45Wind_Left1

3 Dead+Collateral+0.75Live+0.45Wind_Right1

4 0.6Dead+0.6Wind_Left2

5 0.6Dead+0.6Wind_Right2

6 0.6Dead+0.6Wind_Long1L

7 0.6Dead+0.6Wind_Long2L

8 Dead+Collateral+E1PAT_LL_3

9 0.6Dead+0.6Wind_Left1+0.6Wind_Suction

10 0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L

11 Dead+Collateral+E1PAT_LL_1

12 0.6Dead+0.6Wind_Right1+0.6Wind_Suction

13 0.6Dead+0.6Wind_Pressure+0.6Wind_Long2L

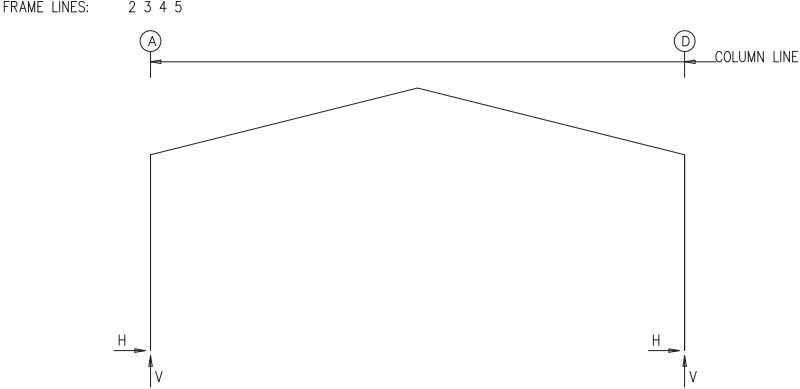
14 Dead+Collateral+E1PAT_LL_2

15 Dead+Collateral+0.75Live+0.45Wind_Left2+0.45Wind_Suction

16 Dead+Collateral+E2PAT_LL_1

17 Dead+Collateral+E2PAT_LL_2

18 Dead+Collateral+E2PAT_LL_3



RIGID FRAME: MAXIMUM REACTIONS, ANCHOR BOLTS, & BASE PLATES

Frm Line	Col Line	Column_Reactions(k)						Bolt(in) Qty	Dia	Base_Plate(in)		Thick	Grout (in)
		Load ld	Hmax H	V Vmax	Load ld	Hmin H	V Vmin			Width	Length		
2*	A	3	6.6	12.7	4	-4.4	-2.3	4	0.750	6.000	18.00	0.500	0.0
		1	6.2	18.1	6	0.9	-6.4						
2*	D	5	4.4	-2.3	2	-6.6	12.7	4	0.750	6.000	18.00	0.500	0.0
		1	-6.2	18.1	7	-0.9	-6.4						
2*	Frame lines: 2 3 4 5												

RIGID FRAME: BASIC COLUMN REACTIONS (k)

Frame Line	Column Line	Dead		Collateral		Live		Snow		Wind_Left1		Wind_Right1	
2*	A	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	D	-1.1	3.7	-1.9	5.4	-3.2	9.0	-1.3	3.8	-2.8	-6.9	7.5	-12.0

Frame Line	Column Line	Wind_Left2		Wind_Right2		Wind_Long1		Wind_Long2		Seismic_Left		Seismic_Right	
2*	A	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	D	-8.5	-7.4	1.9	-2.3	0.5	-9.7	-0.5	-8.5	-0.3	-0.2	0.3	0.2
		-1.9	-2.3	8.5	-7.4	0.5	-8.5	-0.5	-9.7	-0.3	0.2	0.3	-0.2

Frame Line	Column Line	MIN_SNOW		F1UNB_SL_L		F1UNB_SL_R	
2*	A	Horiz	Vert	Horiz	Vert	Horiz	Vert
2*	D	1.3	3.8	1.2	3.8	1.2	2.3
		-1.3	3.8	-1.2	2.3	-1.2	3.8

2* Frame lines: 2 3 4 5

ENDWALL COLUMN REACTIONS(k)

Frame Line	Col Line	Load ld			
6	D	Max Horiz	=	-3.4	Vert = -4.0 (10)
1	C	Max +Vert	=	9.1	Horz = 0.0 (14)
1	C	Max -Vert	=	-4.7	Horz = 2.6 (12)

(10)0.6Dead+0.6Wind_Pressure+0.6Wind_Long1L
(12)0.6Dead+0.6Wind_Right1+0.6Wind_Suction
(14)Dead+Collateral+E1PAT_LL_2

BUILDING BRACING REACTIONS

Wall Loc	Col Line	Reactions(k)				Panel_Shear (lb/ft)	
		Wind Horz	Wind Vert	Seismic Horz	Seismic Vert	Wind	Seis
L_EW	1	B,C	3.0	3.8	0.4	0.5	
F_SW	D	5,6	5.7	4.6	1.8	1.4	
R_EW	6	C,B	3.0	3.8	0.4	0.5	
B_SW	A	4,3	5.7	4.6	1.8	1.4	



05/11/2023

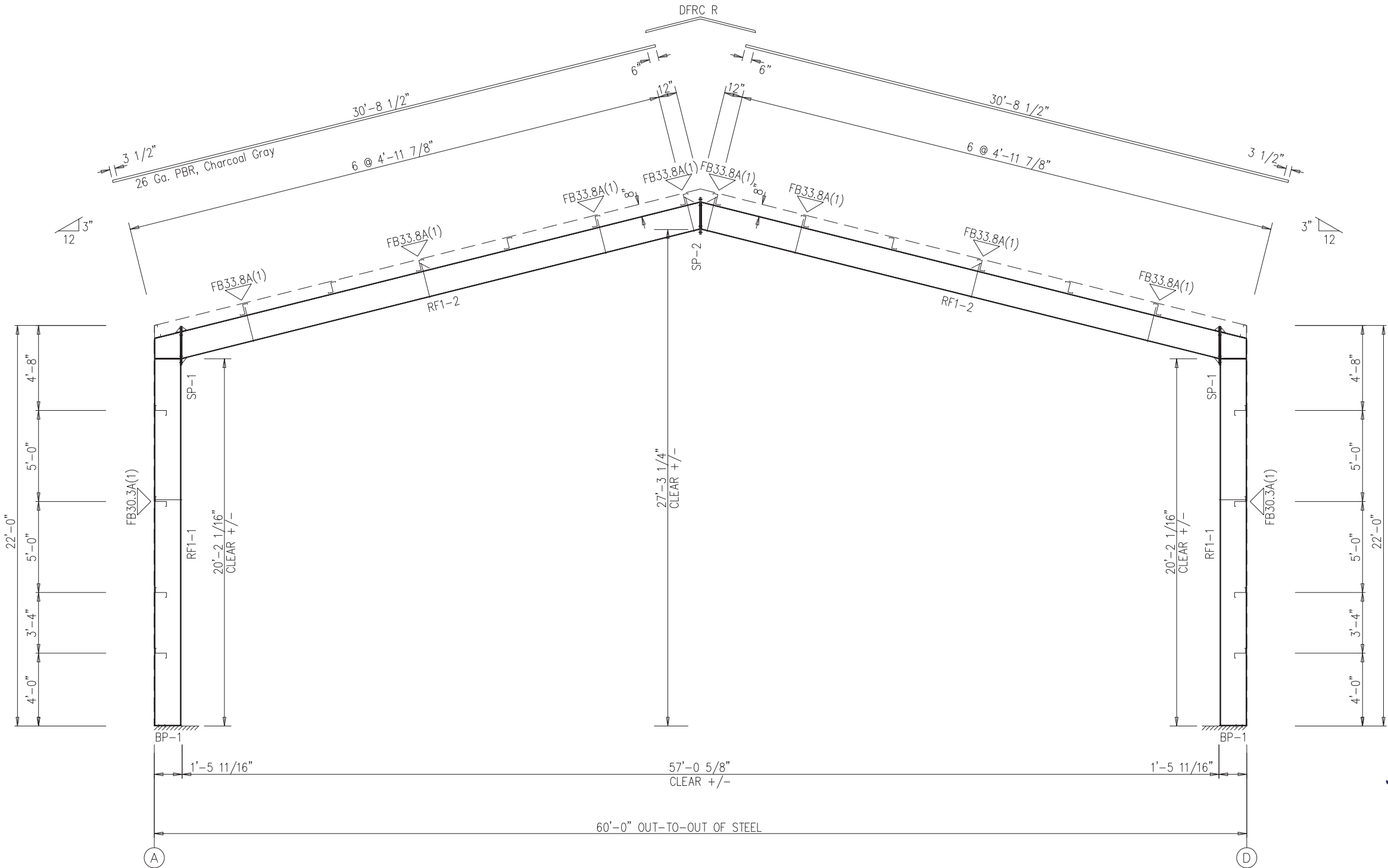
B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811		
		
5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE:	ANCHOR BOLT REACTIONS	DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMS23 SHEET No. Page 42 of 63

SPLICE BOLT TABLE						
Mark	Qty	Top	Bot	Int	Type	Dia
SP-1	4	4	0		A325	1"
SP-2	4	4	0		A325	3/4"

BASE PLATE TABLE			
Col Mark	Plate Size	Width	Thick
BP-1	6"	1/2"	1'-6"

FLANGE BRACES: Both Sides(U.N.)
FBxxA(1): xx=length(in)
A - L2X2X14

MEMBER SIZE TABLE		
MARK	MEMBER	LENGTH
RF1-1	W18X35	21'-3 3/4"
RF1-2	W18X35	29'-4 13/16"

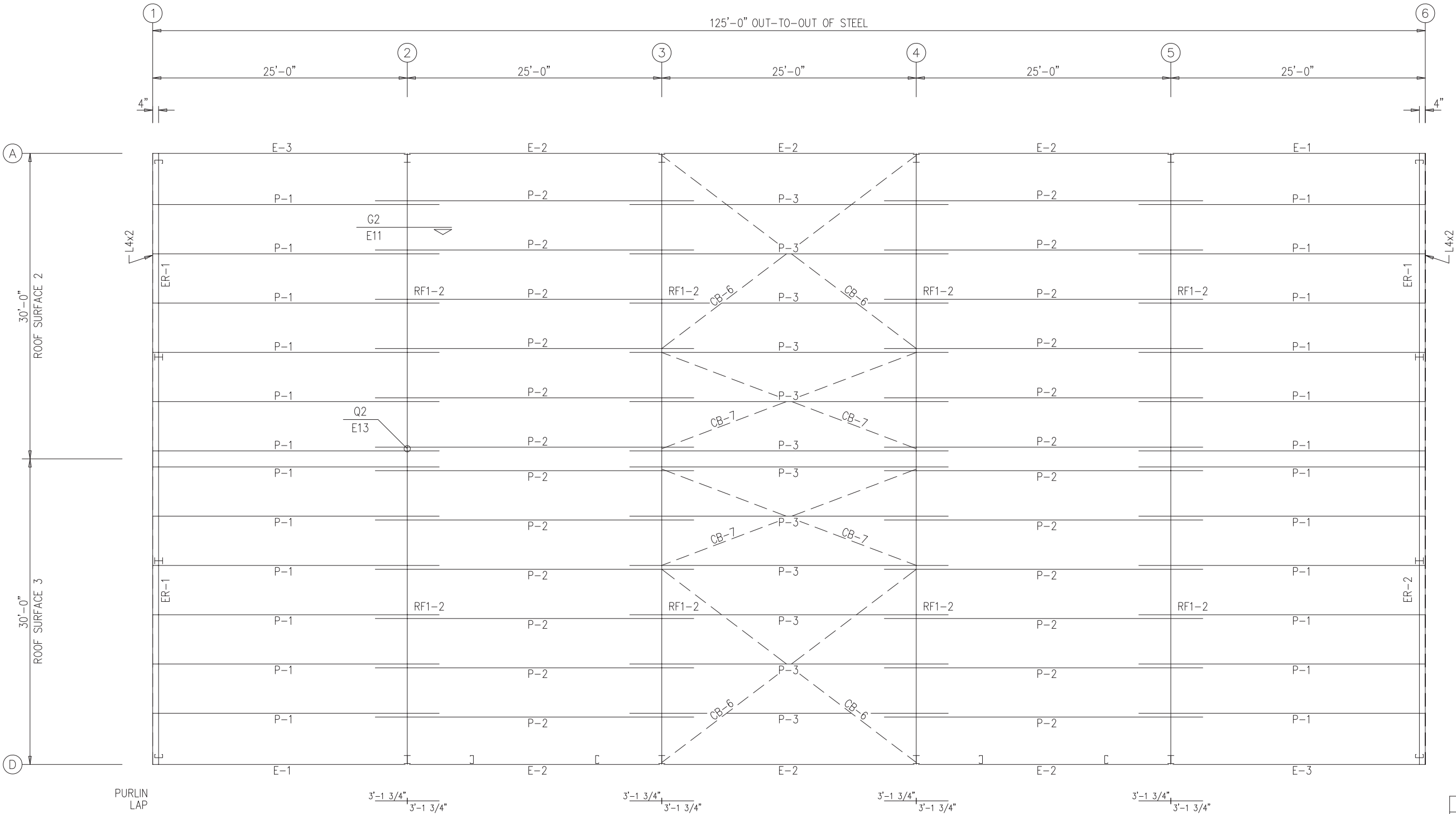


RIGID FRAME ELEVATION: FRAME LINE 2 3 4 5



B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811		
5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE:	RIGID FRAME ELEVATION	DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMSZ SHEET No. Page 43 of 63

MEMBER TABLE	
ROOF PLAN	
MARK	PART
P-1	Z82512
P-2	Z82514
P-3	Z82516
E-1	08534DU3
E-2	08534DU3
E-3	08534DU3
CB-6	5/16_CBL
CB-7	5/16_CBL



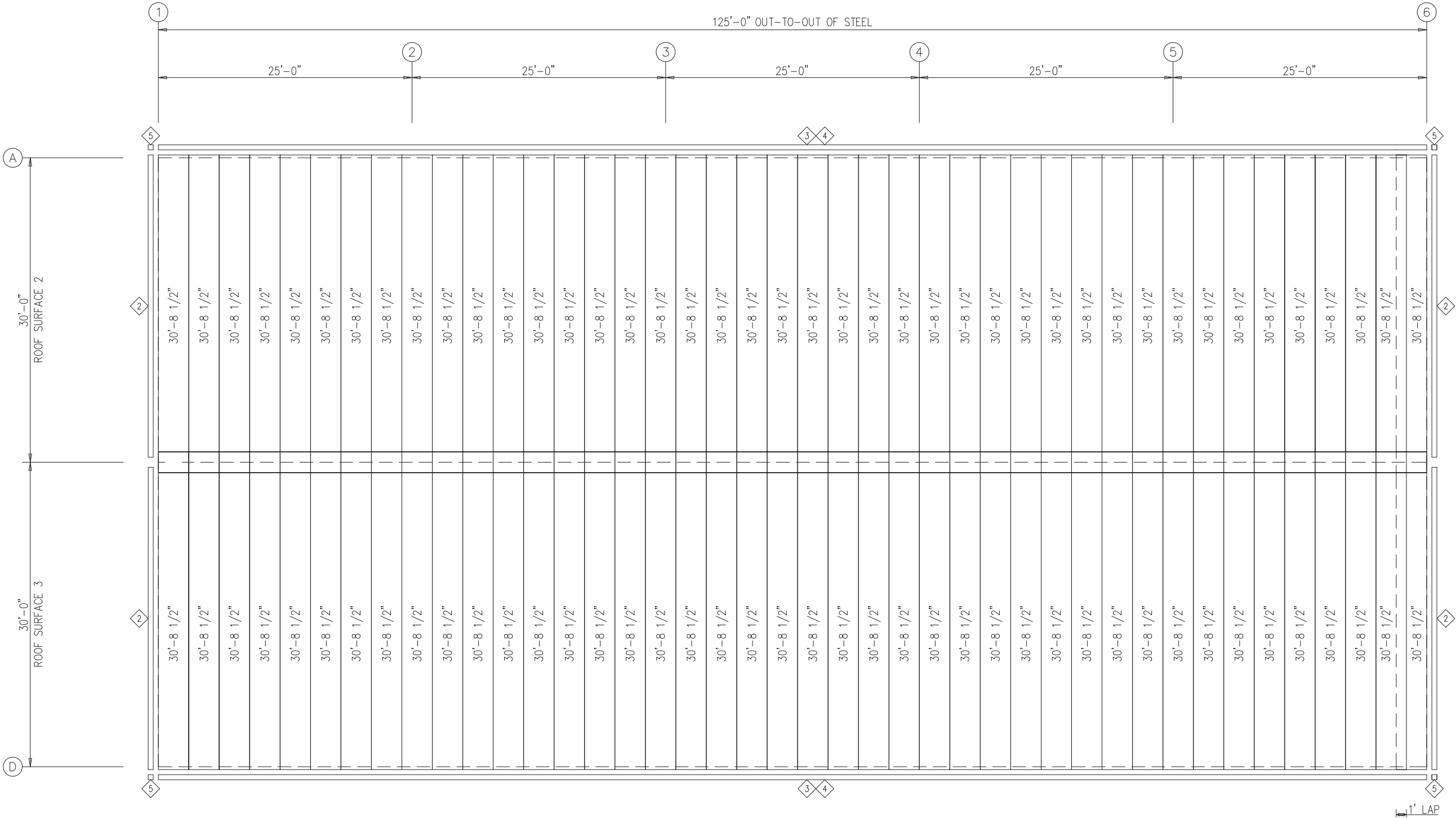
ROOF FRAMING PLAN



05/11/2023

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811 SOUTHWEST METAL SYSTEMS 5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE: ROOF FRAMING		DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMS22 SHEET No. Page 44 of 63

TRIM TABLE				
ROOF PLAN				
◇ID	PART	LENGTH	DETAIL	PAGE
1	DFRC-R	3'-0"	TRIM_12	E12
2	SRT1400	17'-0"	TRIM_7	E12
3	SGU0500	18'-8"	TRIM_2	E12
4	STE0800	18'-5"	TRIM_2	E12
5	GEC0589	8'-0"	TRIM_79	E12

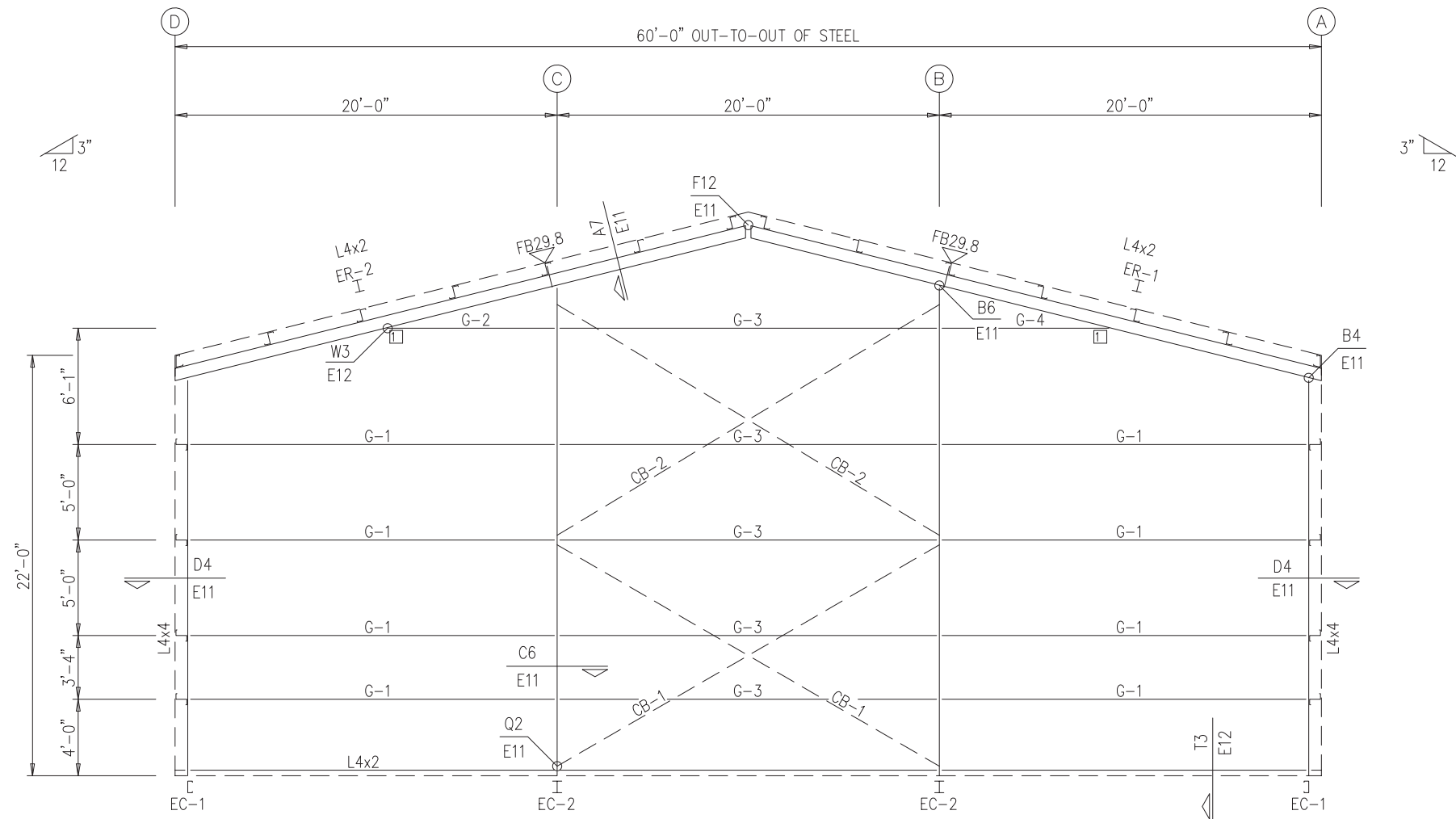


ROOF SHEETING PLAN
PANELS: 26 Ga. PBR - Charcoal Gray

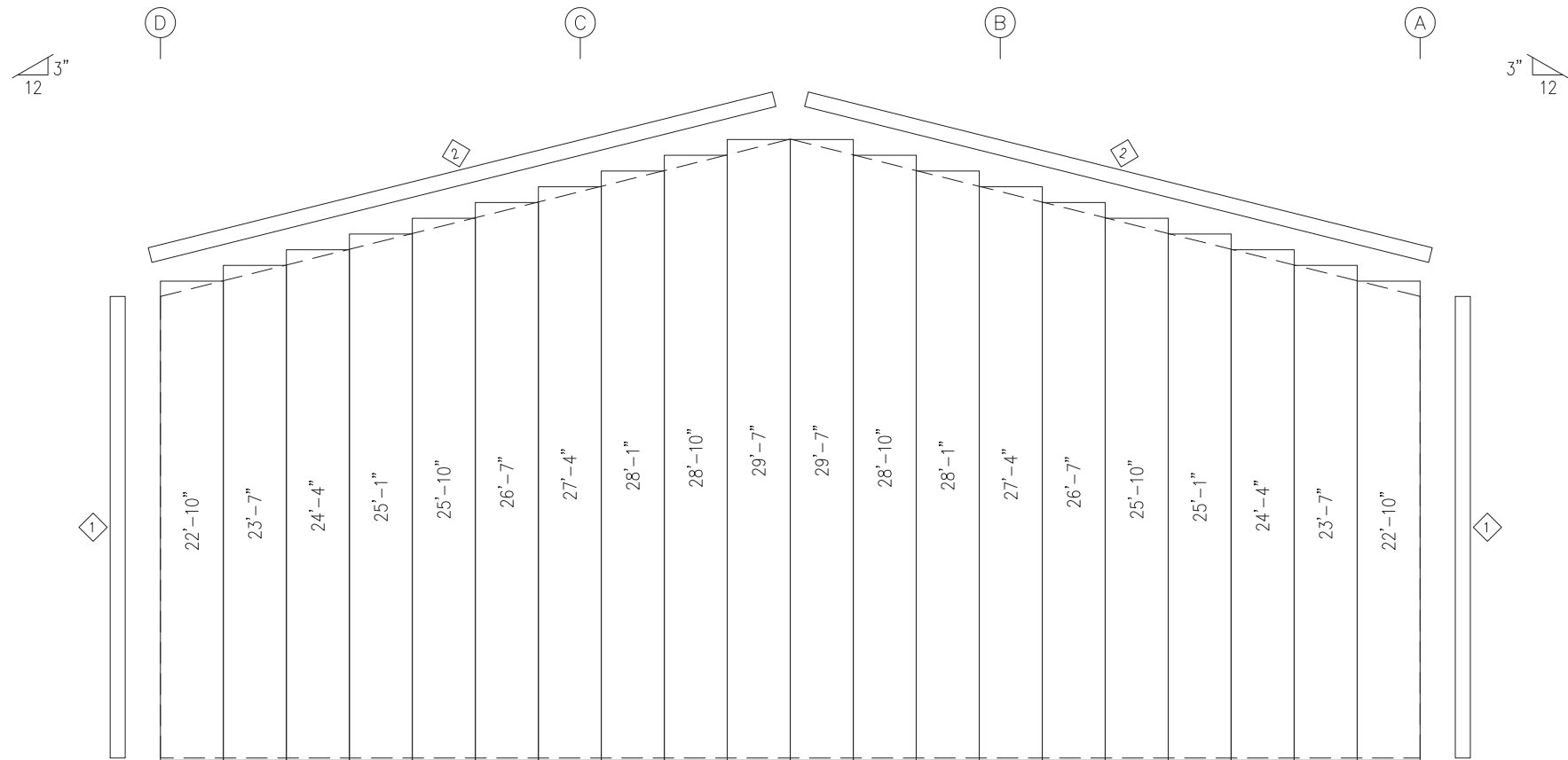


05/11/2023

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811 SOUTHWEST METAL SYSTEMS 5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE: ROOF SHEETING		DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMSZ SHEET No. Page 45 of 63



ENDWALL FRAMING: FRAME LINE 6



ENDWALL SHEETING & TRIM: FRAME LINE 6

PANELS: 26 Ga. PBR – Polar White

BOLT TABLE				
FRAME LINE 6				
LOCATION	QUAN	TYPE	DIA	LENGTH
ER-1/ER-2	8	A325	5/8"	1 3/4"
Columns/Raf	2	A325	5/8"	1 1/2"

TRIM TABLE				
FRAME LINE 6				
◇ID	PART	LENGTH	DETAIL	PAGE
1	OCT0160H	11'-6"	TRIM_1	E12
2	SRT1400	17'-0"	TRIM_7	E12

FLANGE BRACE TABLE		
FRAME LINE 6		
▽ID	MARK	LENGTH
1	FB29.8	2'-5 3/4"

MEMBER TABLE	
FRAME LINE 6	
MARK	PART
EC-1	C83514
EC-2	W8X13
ER-1	W8X13
ER-2	W8X13
G-1	Z82516
G-2	Z82516
G-3	Z82516
G-4	Z82516
CB-1	5/16_CBL
CB-2	5/16_CBL

CONNECTION PLATES	
FRAME LINE 6	
□ID	MARK/PART
1	b1



05/11/2023

B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE

485 NE LOOP 564
MINEOLA, TX 75773
(903) 569-8811

**SOUTHWEST
METAL SYSTEMS**

5295 US HIGHWAY 377
SUITE #2
AUBREY, TEXAS 76227
(940) 381-0191

PROJECT NAME: ADHDER

ADDRESS: ROANOKE, TX 76262

CONTRACTOR: DORIAN ALVES

DRAWING TITLE: ENDWALL FRAMING

DWN BY: TT
CHK BY: MZ

DATE DRAWN 4/24/23

SCALE NTS

JOB No. 3131BMS22

SHEET No. 47 of 63

MEMBER TABLE	
FRAME LINE A	
MARK	PART
E-1	08534DU3
E-2	08534DU3
E-3	08534DU3
G-12	Z82514
G-13	Z82514
G-14	Z82514
CB-5	5/16_CBL



PANELS: 26 Ga. PBR – Polar White



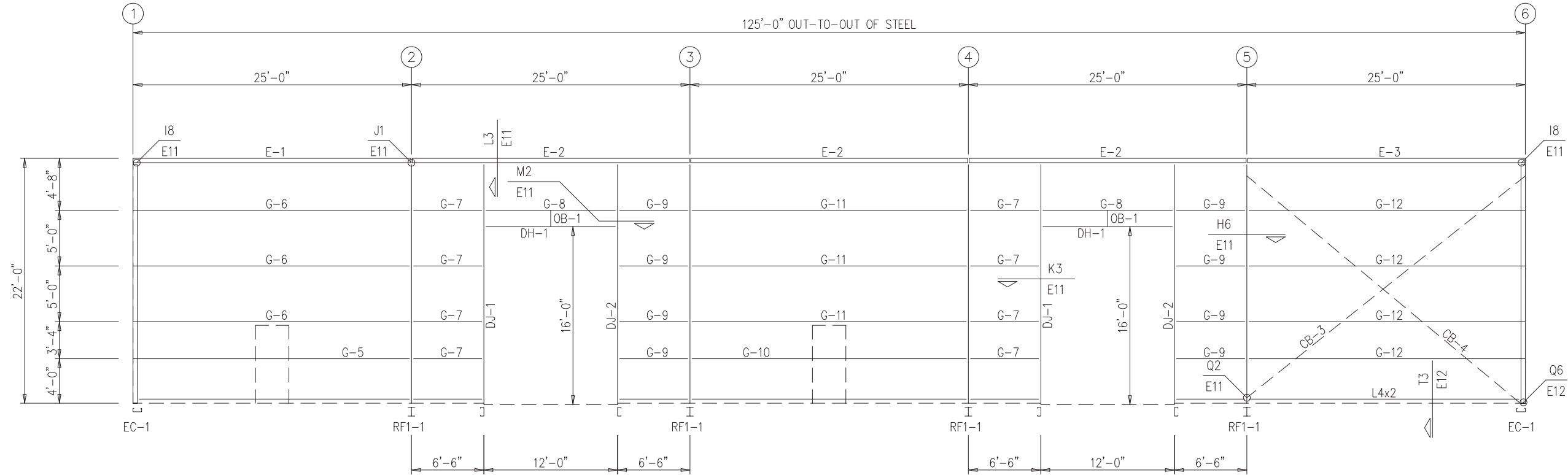
B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE

485 NE LOOP 564		5295 US HIGHWAY 377
MINEOLA, TX 75773		SUITE #2
(903) 569-8811		AUBREY, TEXAS 76227
		(940) 381-0191

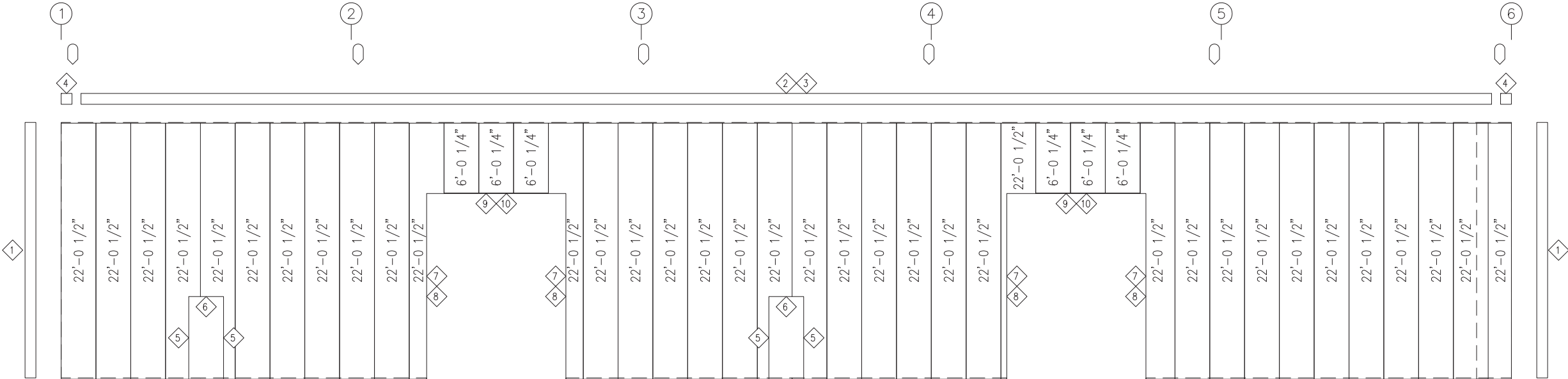
CONTRACTOR: DORIAN ALVES

DATE DRAWN	SCALE	JOB No.	SHEET No.
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4/24/23 NTS 3131BMS Page 48 of 63



SIDEWALL FRAMING: FRAME LINE D



SIDEWALL SHEETING & TRIM: FRAME LINE D

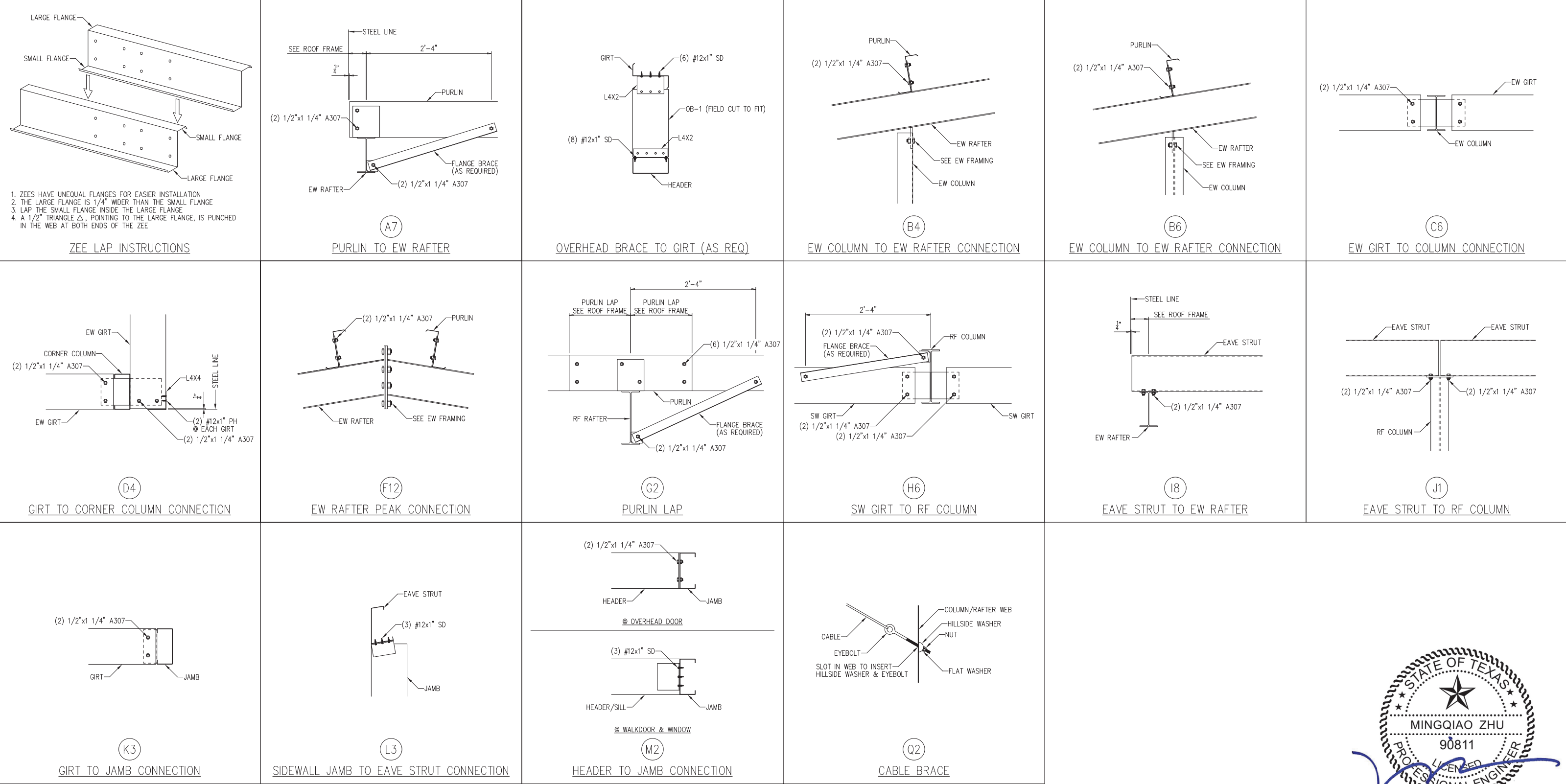
PANELS: 26 Ga. PBR – Polar White

TRIM TABLE				
FRAME LINE D				
ID	PART	LENGTH	DETAIL	PAGE
1	OCT0160H	11'-6"	TRIM_1	E12
2	SGU0500	18'-8"	TRIM_2	E12
3	STE0800	18'-5"	TRIM_2	E12
4	GEC0589	8"	TRIM_79	E12
5	HTR0300	7'-6"	TRIM_9	E12
6	WHR0302	3'-6"	TRIM_10	E12
7	PCT825	16'-6"	TRIM_32	E12
8	HTR0300	16'-6"	TRIM_32	E12
9	PCT825	12'-6"	TRIM_33	E12
10	WHR0302	12'-6"	TRIM_33	E12

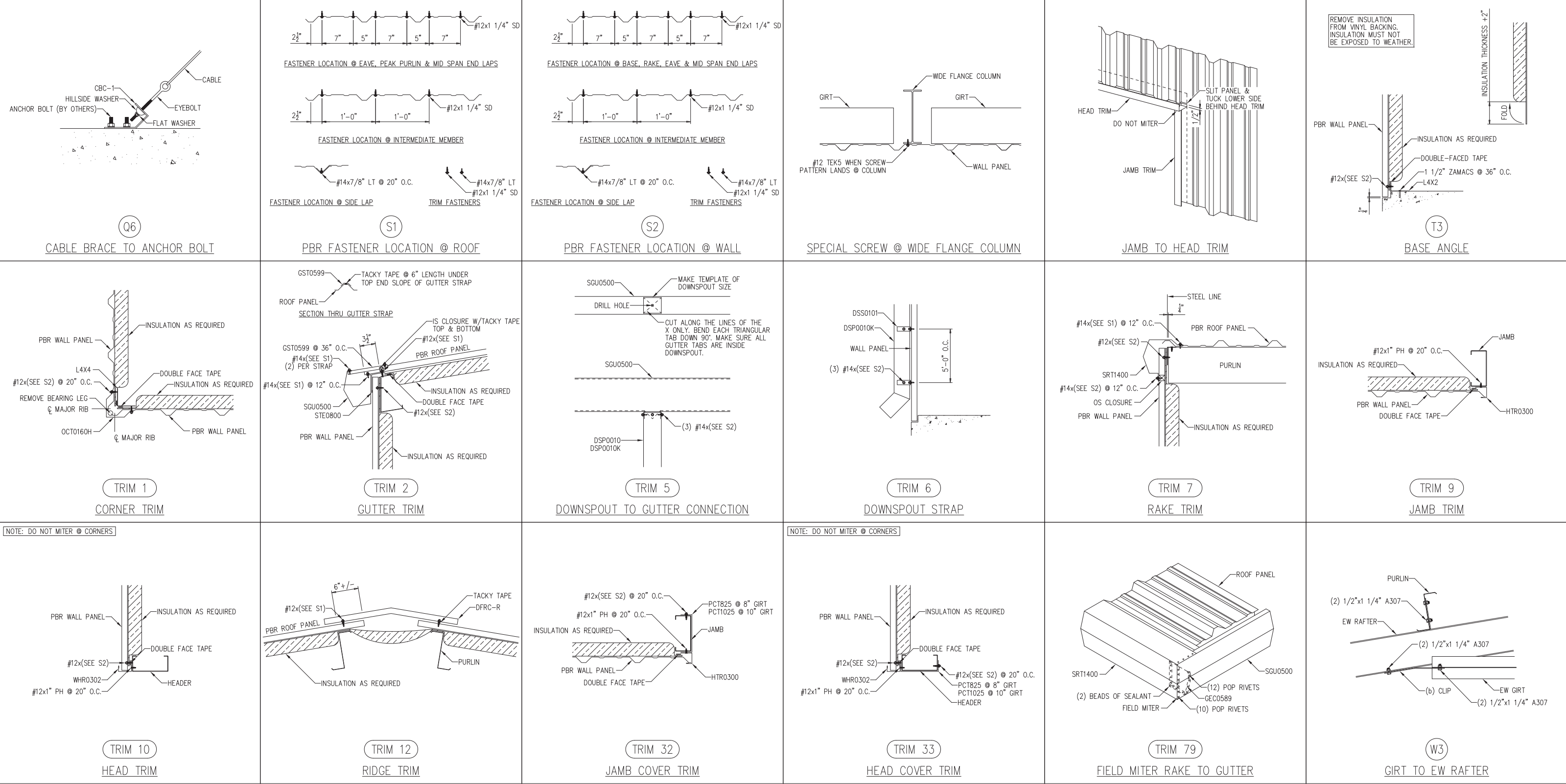
MEMBER TABLE	
FRAME LINE D	
MARK	PART
DJ-1	C83514
DJ-2	C83514
DH-1	C83514
E-1	08534DU3
E-2	08534DU3
E-3	08534DU3
G-5	Z82516
G-6	Z82512
G-7	Z82516
G-8	Z82516
G-9	Z82516
G-10	Z82516
G-11	Z82512
G-12	Z82514
CB-3	5/16_CBL
CB-4	5/16_CBL



B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811 5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE:	SIDEWALL FRAMING	DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMSZ SHEET No. Page 49 of 63



05/11/2023		
B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811		
		
5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE:	DETAIL DRAWINGS	DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMSZ SHEET No. Page 50 of 63



B	FOR CONSTRUCTION	5/10/23
A	FOR APPROVAL	4/24/23
REV	DESCRIPTION	DATE
485 NE LOOP 564 MINEOLA, TX 75773 (903) 569-8811		
5295 US HIGHWAY 377 SUITE #2 AUBREY, TEXAS 76227 (940) 381-0191		
PROJECT NAME: ADHDER		
ADDRESS: ROANOKE, TX 76262		
CONTRACTOR: DORIAN ALVES		
DRAWING TITLE: DETAIL DRAWINGS		DWN BY: TT CHK BY: MZ
DATE DRAWN 4/24/23	SCALE NTS	JOB No. 3131BMS2 SHEET No. Page 51 of 63



Generated by REScheck-Web Software Compliance Certificate

Project Roanoke604

Energy Code: **2018 IECC**
Location: **Roanoke, Texas**
Construction Type: **Single-family**
Project Type: **Addition**
Climate Zone: **3 (2683 HDD)**
Permit Date:
Permit Number:

Construction Site:
604 Dallas Dr
Roanoke, Texas

Owner/Agent:
Addition

Designer/Contractor:
Architectural Plans

Compliance: Passes using UA trade-off

Compliance: **0.1% Better Than Code** Maximum UA: **781** Your UA: **780** Maximum SHGC: **0.25** Your SHGC: **0.00**

The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules.
It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

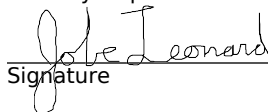
Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling area of the home forming the top of the structure's insulation envelope: Raised or Energy Truss	7,656	38.0	0.0	0.025	0.030	191	230
Wall area of the home forming the sides of the structure's insulation envelope: Wood Frame, 16in. o.c.	7,006	15.0	0.0	0.077	0.060	501	391
Energy efficient door unit: Solid Door (under 50% glazing)	24			0.180	0.320	4	8
Energy efficient door unit: Solid Door (under 50% glazing)	224			0.180	0.320	40	72
Energy efficient door unit: Solid Door (under 50% glazing)	224			0.180	0.320	40	72
Energy efficient door unit: Solid Door (under 50% glazing)	24			0.180	0.320	4	8
Slab perimeter of home forming bottom of insulation envelope: Slab-On-Grade (Unheated) Insulation depth: 0.0' Insulation position: No Insulation	543		0.0	0.730	0.730	0	0

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Jobe Leonard
Name - Title


Signature

5/5/23
Date



Inspection Checklist

Energy Code: 2018 IECC

Requirements: 0.0% were addressed directly in the REScheck software

Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1] ¹ 	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
103.1, 103.2, 403.7 [PR3] ¹ 	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
302.1, 403.7 [PR2] ² 	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr____ Cooling: Btu/hr____	Heating: Btu/hr____ Cooling: Btu/hr____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] ¹ 	Slab edge insulation R-value.	R-____ ☐ Unheated ☐ Heated	R-____ ☐ Unheated ☐ Heated	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [FO3] ¹ 	Slab edge insulation depth/length.	____ ft	____ ft	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ² 	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.9 [FO12] ² 	Snow- and ice-melting system controls installed.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

Additional Comments/Assumptions:

1	High Impact (Tier 1)	2	Medium Impact (Tier 2)	3	Low Impact (Tier 3)
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Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.4 [FR1] ¹ 	Door U-factor.	U- _____	U- _____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	See the Envelope Assemblies table for values.
402.4.1.1 [FR23] ¹ 	Air barrier and thermal barrier installed per manufacturer's instructions.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.4.3 [FR20] ¹ 	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate ≤2.0 cfm leakage at 75 Pa.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.1 [FR12] ¹ 	Supply and return ducts in attics insulated ≥ R-8 where duct is ≥ 3 inches in diameter and ≥ R-6 where < 3 inches. Supply and return ducts in other portions of the building insulated ≥ R-6 for diameter ≥ 3 inches and R-4.2 for < 3 inches in diameter.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.2 [FR13] ¹ 	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.5 [FR15] ³ 	Building cavities are not used as ducts or plenums.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.4 [FR17] ² 	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to ≥ R-3.	R- _____	R- _____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.4.1 [FR24] ¹ 	Protection of insulation on HVAC piping.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.3 [FR18] ² 	Hot water pipes are insulated to ≥ R-3.	R- _____	R- _____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [IN13] ² 	All installed insulation is labeled or the installed R-values provided.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.1.1, 402.2.5, 402.2.6 [IN3] ¹ 	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R-_____ ☐ Wood ☐ Mass ☐ Steel	R-_____ ☐ Wood ☐ Mass ☐ Steel	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	<i>See the Envelope Assemblies table for values.</i>
303.2 [IN4] ¹	Wall insulation is installed per manufacturer's instructions.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

Additional Comments/Assumptions:

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [FI1] ¹	Ceiling insulation R-value.	R-____ ☐ Wood ☐ Steel	R-____ ☐ Wood ☐ Steel	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	See the Envelope Assemblies table for values.
303.1.1.1, 303.2 [FI2] ¹	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.2.3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.2.4 [FI3] ¹	Attic access hatch and door insulation ≥ R-value of the adjacent assembly.	R-____	R-____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
402.4.1.2 [FI17] ¹	Blower door test @ 50 Pa. ≤ 5 ach in Climate Zones 1-2, and ≤ 3 ach in Climate Zones 3-8.	ACH 50 = ____	ACH 50 = ____	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.3 [FI27] ¹	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	____ cfm/100 ft ²	____ cfm/100 ft ²	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.4 [FI4] ¹	Duct tightness test result of ≤ 4 cfm/100 ft ² across the system or ≤ 3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	____ cfm/100 ft ²	____ cfm/100 ft ²	☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.3.2.1 [FI24] ¹	Air handler leakage designated by manufacturer at ≤ 2% of design air flow.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.1.1 [FI9] ²	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.1 [FI11] ²	Circulating service hot water systems have automatic or accessible manual controls.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermosyphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.2 [FI30] ²	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to ≤ 104°F.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
404.1 [FI6] ¹	90% or more of permanent fixtures have high efficacy lamps.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
404.1.1 [FI23] ³ 	Fuel gas lighting systems have no continuous pilot light.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	
401.3 [FI7] ²	Compliance certificate posted.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3)

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [FI18] ³	Manufacturer manuals for mechanical and water heating systems have been provided.			☐ Complies ☐ Does Not ☐ Not Observable ☐ Not Applicable	

Additional Comments/Assumptions:



2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
-------------------	---------

Above-Grade Wall	15.00
Below-Grade Wall	0.00
Floor	0.00
Ceiling / Roof	38.00
Ductwork (unconditioned spaces):	_____

Glass & Door Rating	U-Factor	SHGC
---------------------	----------	------

Window		
Door	0.18	

Heating & Cooling Equipment	Efficiency
-----------------------------	------------

Heating System: _____	_____
Cooling System: _____	_____
Water Heater: _____	_____

Name: _____ Date: _____

Comments

JSB ENGINEER (F-20338)
19285 Horseshoe Dr., Nevada, Texas 75173 (214) 843-6223
email: jsbengineertx@gmail.com

May 10, 2023

Jonathan Saldana
(214) 966-0550
jonathan.saldana@ddsg.us

To whom it may concern:

The foundation plans, accompanied by this letter, for use only on the property described below:

Address: 604 Dallas Dr
Roanoke, Texas

Foundation design criteria was formulated based on modifications of recommendations as set forth in criteria for selection and design of slab-on-ground (BRAB REPORT), PTI design and construction of monolithic grade beam slabs on ground 2nd addition, WRI-CRSI-96, ACI 318-99, the 2018 IRC, 2018 IBC, ACI 318, ASTM C94 and recognized engineering practices.



J.S. Barton PE



JSB Engineer (F-20338)

19285 Horseshoe Dr. Nevada, Texas 75173

(214) 843-6223

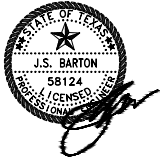
Jsbengineertx@gmail.com

May 10, 2023
County Engineer
Roanoke, TX 76262

RE: 604 Dallas Dr. – Storm Water Drainage Plan

To whom it may concern:

JSB Engineer has been engaged to provide drainage letter describing the site development project at 604 Dallas Drive. The project consists of a new attached garage, to be located south of the existing main home. Existing grading conditions consist of all water flowing south to the rear of the property. Per our proposed grading plan (refer to page G1 of the builder set) a building part will be developed for the new addition garage. The grading just north of the new addition will be re-worked to avoid any accumulation of water, and to allow the continuous run-off to the south of the property as currently existing.



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Warm Regards,

Steve J. Barton

P.E.