

Holly Gray, Mayor Pro-Tem
David Brundage, Councilmember
John Pullen, Councilmember



Brian Darby, Councilmember
David Thompson, Councilmember
Ernie Adams, Councilmember

ROANOKE CITY COUNCIL AGENDA REGULAR MEETING

**MAY 12, 2026
7:00 PM
500 S. OAK STREET
ROANOKE, TEXAS 76262**

A. CALL CITY COUNCIL TO ORDER

Invocation and Pledge of Allegiance

B. ADMINISTRATION OF OATH OF OFFICE AND PRESENTATION OF CERTIFICATE OF ELECTION

C. ANNOUNCEMENTS

D. PUBLIC INPUT

This item is available for citizens to address the City Council on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda. In order to provide the highest quality audio, all speakers need to speak at the podium.

E. CONSENT AGENDA

All items listed below are considered routine and will be enacted with one motion. There will be no separate discussion of items unless a Councilmember or citizen so requests, in which event the item will be removed and considered separately.

1. Consider approval of the minutes from the regular City Council meeting held on Tuesday, April 28, 2026.



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2. Consideration and action to appoint Council Member John Pullen and Council Member Ernie Adams to the Roanoke Convention Center Hotel Local Development Corporation Board of Directors.
3. Consideration and action to reappoint Mayor Pro Tem Holly Gray, Council Member Brian Darby, and Council Member David Brundage to the Roanoke Convention Center Hotel Local Development Corporation for a term of three years expiring in May 2029.

F. OLD BUSINESS

1. **Consider a request** by Kevin Kriston of Texas Lehigh Cement Co., LP, to amend the comprehensive zoning ordinance of the City of Roanoke, Texas, for Block 33, 38, and 39 of the OT Roanoke Addition, an addition to the City of Roanoke, Denton County, Texas, by changing the zoning on said tract of land from Business Park to Business Park - Specific Use Permit (SUP) to allow the installation of equipment to a new maximum height of 150'. The property is generally located at 400 US Hwy 377. (SUP-2026-01, Ordinance No. 2026-101)

G. NEW BUSINESS

1. Consideration and action to nominate and elect a City Council Member as Mayor Pro Tem.
2. **Consider and make a decision** on a Site Plan request by The John McAdams Company and the City of Roanoke for a hotel to be located on an approximately 3.269-acre parcel legally described as Lot 1, Block B, Roanoke City Center Addition, and generally located northeast of the intersection of Parish Lane and South Oak Street. (SP-2026-02)
3. **Hold a public hearing and consider** a city initiated rezoning application on approximately 57.502-Acres of land located in the Thomas Kelly Survey, Abstract No. 704, consisting of 36.912-Acres of land located in the Marshall Creek Addition and 20.59-Acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas, by changing the zoning on the approximately 57.502-Acres of Land from Single Family-7 District (SF-7) to Planned Development 2014-114 District with Single Family PD Uses. (ZC-2026-03, Ordinance No. 2026-122).
4. **Hold a public hearing and consider** a City initiated text amendment, amending Planned Development Ordinance No. 2014-114,



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and the Comprehensive Zoning Ordinance of the City of Roanoke, Texas, by adding a maximum lot/tract coverage of 50% for an approximately 57.502-Acres of land located in the Thomas Kelley Survey, Abstract No. 704, consisting of 36.912-Acres of land located in the Marshall Creek Addition, and 20.59-Acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas. (ZTA-2026-04, Ordinance No. 2026-123)

H. EXECUTIVE SESSION

The City Council will hold a closed Executive Session meeting pursuant to the provisions of Chapter 551 of the Texas Government Code, in accordance with the authority contained in:

Executive Session: Pursuant to the Open Meetings Act, Chapter 551, Texas Government Code, Sections 551.071, 551.072, 551.073, 551.074, 551.076, 551.087, 418.183(f) and 418.106(d) & (e). Executive Session may be held, under these exceptions, at any time during the meeting that a need arises for the City Council to seek advice from the City Attorney as to the posted subject matter of this City Council meeting.

RECONVENE INTO REGULAR SESSION

The City Council will reconvene into Regular Session, pursuant to the provisions of Chapter 551 of the Texas Government Code, to take any action necessary.

The City Council reserves the right to adjourn into Executive Session during the course of this meeting to discuss any item on the posted agenda as authorized by Chapter 551 of the Texas Government Code.

I. ADJOURNMENT

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Tuesday, May 5, 2026, by 5:00 pm, in accordance with Chapter 551, Texas Government Code.

Lindsay Rawlinson, City Secretary



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*Any person planning to attend this meeting that may require auxiliary aids or services should request accommodations two (2) days prior to the meeting by calling (817) 491-8152. **BRILLE IS NOT AVAILABLE.**

- 📶 A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



Holly Gray, Mayor Pro-Tem
David Brundage, Council Member
VACANT, Council Member

Carl E. Gierisch, Jr., Mayor

Brian Darby, Council Member
David Thompson, Council Member
VACANT, Council Member

**MINUTES
ROANOKE CITY COUNCIL
REGULAR MEETING
APRIL 28, 2026
CITY HALL COUNCIL CHAMBERS
500 S. OAK STREET
7:00 P.M.**

PRESENT: Mayor Carl E. "Scooter" Gierisch, Jr., Mayor Pro Tem Holly Gray, Council Members: Brian Darby, David Brundage, and David Thompson; City Manager Cody Petree, Assistant City Manager Jeriahme Miller, City Secretary Lindsay Rawlinson, and City Attorney Jeff Moore.

DEPT. STAFF: Chief of Police Jeff Williams, Finance Director Kyle Lester, Information Technology Manager Blake Gore, and Public Engagement Manager Sandra Pettigrew.

ABSENT: None.

A. CALL CITY COUNCIL TO ORDER

Mayor Gierisch called the meeting to order at 7:00 p.m.

Invocation and Pledge of Allegiance given by Mayor Gierisch.

B. ANNOUNCEMENTS

Public Engagement Manager Sandra Pettigrew announced Taste & Tunes on Oak Street, formerly Roanoke Roundup, will be held Saturday, May 2, 2026, from 12:00 to 9:00 p.m. She advised of activities such as a tasting competition and cook-off as well as live bands.

C. PUBLIC INPUT

None.

D. PROCLAMATION

1. Mayor Gierisch will read a proclamation declaring May 7, 2026, as National Day of Prayer

Mayor Gierisch presented a proclamation to National Day of Prayer Task Force Coordinator Irma Thomas who expressed her appreciation to the Mayor and City Council and introduced Church of Trophy Lakes Pastor Barry Clingan and National Day of Prayer Master of Ceremonies Darren Davis.



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2. Mayor Gierisch will read a proclamation declaring May 11 – 16, 2026 as National Police Week.

Mayor Gierisch presented a proclamation to Chief of Police Jeff Williams recognizing National Police Week in Roanoke.

E. PRESENTATION

1. Quarterly Financial Report

Finance Director Kyle Lester presented the quarterly financial report for the period of January through March 2026 and advised of issues including sales tax collection.

Following discussion, Mr. Lester advised that he will share sales tax comparison data regarding neighboring cities with the City Council.

F. CONSENT AGENDA

All items listed below are considered routine and will be enacted with one motion. There will be no separate discussion of items unless a Councilmember or citizen so requests, in which event the item will be removed and considered separately.

1. Consider approval of the minutes from the regular City Council meeting held on April 14, 2026.
2. Consider approval of an Interlocal Agreement between the City of Roanoke and the North Central Texas Council of Governments for use of its map-based information system.
3. Consideration and approval of Ordinance No. 2026-119 amending Chapter 11 Article 11.1400 of the Code of Ordinances by adding a Section 11.1405 entitled "Penalty" by providing a penalty for a violation of the article; adopting a Water Conservation Plan and Drought Contingency Plan.
4. Consider approval of Resolution No. 2026-110R authorizing the filing of a grant application for the Motor Vehicle Crime Prevention Authority Grant Program.
5. Consideration and action on approval of a Municipal Advisory Agreement by and between Roanoke Convention Center Hotel Local Development Corporation and Hilltop Securities, Inc.
6. Consideration and action on approval of a Design Building Agreement (DBA) by and between Roanoke Convention Center Hotel Local Development Corporation and Brasfield & Gorrie.
7. Consideration and action on approval of Amendment #01 to a Design Building Agreement (DBA) by and between Roanoke Convention Center Hotel Local Development Corporation and Brasfield & Gorrie to start procurement and construction on the Model Room in the amount of \$349,527.
8. Consideration and action on approval of a Construction Monitor Agreement by and between Roanoke Convention Center Hotel Local Development Corporation and Cronin Construction in the amount of \$320,676.



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9. Consideration and action on approval of a Lease Agreement for a Model Room and Construction Jobsite Office by and between Roanoke Convention Center Hotel Local Development Corporation and the City of Roanoke.

Motion made by Mayor Pro Tem Gray and seconded by Council Member Brundage to approve the Consent Agenda.

Motion carried unanimously.

G. NEW BUSINESS

1. Consideration and action on Resolution 2026-109R directing publication of notice of intention to issue combination tax and revenue certificates of obligation.

Motion made by Mayor Pro Tem Gray and seconded by Council Member Thompson to approve Resolution No. 2026-109R, directing publication of notice of intention to issue combination tax and revenue certificates of obligation.

Motion carried unanimously.

2. Consideration and action on Ordinance No. 2026-112, repealing and replacing Chapter 7, Article 7.300, Sections 7.301 to 7.331 entitled "Smoking" of the Code of Ordinances, establishing regulations for smoking, prohibiting the smoking in certain prohibited public places, City buildings, or enclosed area of a workplace, designating restaurants as non-smoking areas, authorizing restaurants to designate smoking areas, defining and prohibiting restricted smoking material, and prohibiting the sale or possession of certain restricted smoking material.

Ordinance 2026-112 repeals the current "Smoking" section located within Chapter 7 — Nuisances. The current ordinance does not address vape and CBD shops in a manner that reflects the current industry. City Council voted on April 14, 2026, to adopt updates to the Zoning Ordinance which regulate vape/tobacco/CBD shops. This ordinance works with that ordinance and provides clarification and needed updates to the nuisance code.

Motion made by Council Member Thompson and seconded by Mayor Pro Tem Gray to approve Ordinance No. 2026-112, repealing and replacing Chapter 7, Article 7.300, Sections 7.301 to 7.331 entitled "Smoking" of the Code of Ordinances, establishing regulations for smoking, prohibiting the smoking in certain prohibited public places, City buildings, or enclosed area of a workplace, designating restaurants as non-smoking areas, authorizing restaurants to designate smoking areas, defining and prohibiting restricted smoking material, and prohibiting the sale or possession of certain restricted smoking material.

Motion carried unanimously.



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3. Consideration and action on Resolution No. 2026-111R, approval of the Roanoke Convention Center Hotel Local Development Corporation Bylaws.

Motion made by Mayor Pro Tem Gray and seconded by Council Member Thompson to approve Resolution No. 2026-111R, approval of the Roanoke Convention Center Hotel Local Development Corporation Bylaws.

Motion carried unanimously.

4. Consideration and action to nominate and elect a President of the Roanoke Convention Center Hotel Local Development Corporation Board of Directors, to serve for a term of one year.

Motion made by Council Member Thompson and seconded by Mayor Pro Tem Gray to nominate and elect Mayor Carl E. Gierisch, Jr. as President of the Roanoke Convention Center Hotel Local Development Corporation Board of Directors, to serve for a term of one year.

Motion carried unanimously.

H. EXECUTIVE SESSION

The City Council held a closed Executive Session meeting pursuant to the provisions of Chapter 551 of the Texas Government Code, in accordance with the authority contained in:

Section 551.087

To deliberate commercial or financial information the City has received from a business prospect, and to deliberate the offer of a financial or other incentive to a business prospect.

- Roanoke Sports Complex, LLC

City Council convened into closed session at 7:28 p.m. and reconvened into regular session at 7:50 p.m.

Motion made by Council Member Thompson and seconded by Council Member Darby to approve the Consent to Assignment of License Agreement by and between Roanoke Sports Complex, LLC and Capacity Sports Group, LLC, and subject to revisions deemed necessary by City staff or City Attorney's office.

Motion passed 4-0-1 with Mayor Pro Tem Gray abstaining.

Motion made by Council Member Thompson and seconded by Council Member Darby to approve an Amended and Restated License Agreement with Capacity Sports Group, LLC, and subject to revisions deemed necessary by City staff or City Attorney's office.

Motion passed 4-0-1 with Mayor Pro Tem Gray abstaining.



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Motion made by Council Member Thompson and seconded by Council Member Darby to approve a Chapter 380 Agreement with Roanoke Sports Complex, LLC, and subject to revisions deemed necessary by City Attorney's office and resolution of deed issue.

Motion passed 4-0-1 with Mayor Pro Tem Gray abstaining.

Motion made by Council Member Thompson and seconded by Council Member Darby to approve a License Agreement with Roanoke Sports Complex, LLC, and subject to revisions deemed necessary by City staff or City Attorney's office and resolution of deed issue.

Motion passed 4-0-1 with Mayor Pro Tem Gray abstaining.

I. **ADJOURNMENT**

Motion made by Mayor Pro Tem Gray and seconded by Council Member Darby to adjourn the meeting at 7:52 p.m.

Motion carried unanimously.

Carl E. "Scooter" Gierisch, Jr., Mayor

Lindsay Rawlinson, City Secretary



AGENDA ITEM

TO: Mayor and City Council

SUBJECT: Appointments to Roanoke Convention Center Hotel Local Development Corporation

MEETING DATE: May 12, 2026

DEPARTMENT: City Secretary

ITEM SUMMARY:

Appoint Council Member John Pullen and Council Member Ernie Adams to the Roanoke Convention Center Hotel Local Development Corporation Board of Directors.

INFORMATION:

The Roanoke Convention Center Hotel Local Development Corporation was incorporated by the City Council on December 9, 2025, and the City Council members were appointed to serve as the Board of Directors. In accordance with Article II, Section 1 of the RCCHLDC Bylaws:

"All powers of the Corporation shall be vested in the Board of Directors (the "Board"). The Board shall consist of seven (7) persons who shall have the qualifications contained in the Articles of Incorporation. Directors of the Corporation ("Director" or "Directors") shall be appointed to the Board by the City Council. In case of a vacancy in the Board through death, resignation, disqualification, or other cause or incapacity, a successor to hold office shall be appointed by the City Council."

Former Board Members Hogan Page and Bryan Moyers resigned their positions on the City Council and the RCCHLDC Board of Directors in January 2026. Recently elected City Council Members John Pullen and Ernie Adams have each won their respective Council seats following these resignations. The City Council shall appoint Council Member Pullen and Council Member Adams to the unexpired terms for the RCCHLDC Board of Directors with a term expiring May 31, 2027.

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:



AGENDA ITEM

FINANCIAL CONSIDERATION:

ATTACHMENTS:

None



AGENDA ITEM

TO: Mayor and City Council

SUBJECT: RCCHLDC Board of Directors renewal

MEETING DATE: May 12, 2026

DEPARTMENT: City Secretary

ITEM SUMMARY:

Consideration and action to appoint Mayor Pro Tem Holly Gray, Council Member Brian Darby, and Council Member David Brundage to the Roanoke Convention Center Hotel Local Development Corporation for a term of three years expiring in May 2029.

INFORMATION:

The Roanoke Convention Center Hotel Local Development Corporation was incorporated by the City Council on December 9, 2025, and the City Council members were appointed to serve as the Board of Directors. In accordance with Article II, Section 1 of the RCCHLDC Bylaws:

"The term of service for a Director other than an initial Director, whose initial term is specified in Article XII the Corporation's Articles of Incorporation. Thereafter, the term is three (3) years. Each Director shall serve for the term for which he or she is appointed and until his or her successor shall have been appointed or until his or her earlier death, resignation, retirement, disqualification, or removal. Any Director whose term shall have expired may be appointed to succeed himself/herself."

Holly Gray, Brian Darby, and David Brundage were initially appointed to a term to expire May 31, 2026, in the Board's Articles of Incorporation. This appointment would allow each to serve for a full term of three years expiring May 31, 2029.

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:



AGENDA ITEM

ATTACHMENTS:

None



CITY COUNCIL AGENDA ITEM

TO: Mayor and City Council

SUBJECT: SUP-2026-01, Ordinance No. 2026-101

MEETING DATE: May 12, 2026

DEPARTMENT: Planning

ITEM SUMMARY:

Consider a request by Kevin Kriston of Texas Lehigh Cement Co., LP, to amend the comprehensive zoning ordinance of the City of Roanoke, Texas, for Block 33, 38, and 39 of the OT Roanoke Addition, an addition to the City of Roanoke, Denton County, Texas, by changing the zoning on said tract of land from Business Park to Business Park - Specific Use Permit (SUP) to allow the installation of equipment to a new maximum height of 150'. The property is generally located at 400 US Hwy 377. (SUP-2026-01, Ordinance No. 2026-101)

INFORMATION:

Mr. Kriston is requesting a Specific Use Permit to allow for the expansion of the existing concrete facility to include a new bucket elevator, stair tower, air slide conveyor system, and bag filters. The Business Park Zoning District allows a maximum height of 40 feet, which may be increased through the Specific Use Permit process only.

As reflected in the renderings, the existing equipment reaches a height of almost 90'. In the staff's opinion, the expansion of this facility is in line with the existing uses in this industrial section of the City and will not have a negative impact.

Planning & Zoning Commission Action

On February 2, 2026, the Planning & Zoning Commission conducted a public hearing on the request. The Planning & Zoning Commission voted unanimously to recommend approval of the SUP with the following conditions:

1. The applicant should provide City Council with renderings that show potential screening solutions.
2. Limitation of operating hours to one shift during daytime business hours.

The applicant did supply the renderings, which have been provided supplemental to this report.



CITY COUNCIL AGENDA ITEM

Previous Council Action

On March 10, 2026, City Council tabled the item until concerns related to fire safety could be addressed.

STAFF RECOMMENDATION:

Staff recommends approval of the request.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. Ordinance No. 2026-101 SUP Block 33, 38, 39 OT Roanoke - 150 foot equipment
2. Application
3. Survey
4. Concept View 1
5. Concept View 2
6. Concept View 3

ORDINANCE NO. 2026-101

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, BY GRANTING A CHANGE IN ZONING FOR BLOCKS 33, 38, AND 39 OF THE O.T. ROANOKE ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AND OR DEPICTED IN EXHIBIT A WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES, BY AMENDING THE UNDERLYING ZONING FOR SAID TRACTS OF LAND FROM BUSINESS PARK (BP) DISTRICT TO BUSINESS PARK – SPECIFIC USE PERMIT (BP-SUP) DISTRICT TO ALLOW INSTALLATION OF EQUIPMENT TO A MAXIMUM EIGHT OF 150 FEET WITH A SPECIFIC USE PERMIT (SUP); PRESCRIBING THE PERMISSIBLE USES THEREOF; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, after public notice and public hearing as required by law, the Planning and Zoning Commission for the City of Roanoke, Texas, has recommended that the official zoning map of the City of Roanoke, Texas, be amended to reflect that the zoning on Blocks 33, 38, and 39 of the O.T. Roanoke Addition, an addition located within the City of Roanoke, Denton County, Texas, and being more particularly described and/or depicted in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Business Park (BP) District to Business Park – Specific Use Permit (BP-SUP) District to allow installation of equipment to a maximum height of 150 feet; and

WHEREAS, the Planning and Zoning Commission of the City of Roanoke, Texas, and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, THAT:

**SECTION 1.
FINDINGS INCORPORATED**

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2.

The Comprehensive Zoning Ordinance and Map of the City of Roanoke, Texas, duly passed by the governing body of the City of Roanoke, Texas, as heretofore amended, be and the same is hereby amended to grant a change in zoning on Blocks 33, 38, and 39 of the O.T. Roanoke Addition, an addition located within the City of Roanoke, Denton County, Texas, and being more particularly described and/or depicted in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Business Park (BP) District to Business Park – Specific Use Permit (BP-SUP) District to allow installation of equipment to a maximum height of 150 feet.

SECTION 3.

The City Secretary is directed to engross and enroll this Ordinance in the Code of Ordinances of the City of Roanoke and to reflect this change of zoning on the official zoning map of the City of Roanoke, Texas.

SECTION 4. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

SECTION 5. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

SECTION 6. PUBLICATION CLAUSE

The City Secretary of the City is hereby directed to publish in the official newspaper of the City the caption, penalty clause, and effective date clause of this Ordinance as required by law.

**SECTION 7.
EFFECTIVE DATE**

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this May 12, 2026.

APPROVED:

Carl E. Gierisch, Jr., Mayor

ATTEST:

Lindsay Rawlinson, City Secretary

APPROVED AS TO FORM:

Jeff Moore, City Attorney

Exhibit A

Legal Description and/or Depiction

BEING a called 8.9639 acre tract of land out of the M.E.P. & P.R.R. Survey, Abstract No. 923, and situated in the City of Roanoke, Denton County, Texas, said tract being the same tract of land described in the deed to Texas Lehigh Cement Company recorded in Volume 1917, Page 151 of the Deed Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

BEGINNING at a 5/8 inch capped steel rod found for the most northerly corner of said Lehigh tract, said rod being the most easterly corner of the same tract of land described in the deed to City of Roanoke recorded as Instrument No. 2019-20118 and also being in the southwesterly right-of-way line of W Byron Nelson Parkway (Texas Business 114);

THENCE South 65°47'43" East with the northeasterly boundary line of said Lehigh and with said right-of-way line a distance of 454.66 feet to a 3-1/2 inch aluminum monument set for the most easterly corner of said Lehigh tract, said monument being in the northwesterly right-of-way line of the Union Pacific Railroad;

THENCE South 24°58'58" West with the southeasterly boundary line of said Lehigh tract and with said northwesterly railroad right of way a distance of 862.10 feet to 1/2 inch "MILLER 5665" capped steel rod set for the most southerly corner of said Lehigh tract;

THENCE North 64°44'10" West with the southwesterly boundary line of said Lehigh tract a distance of 455.68 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the most westerly corner thereof, said rod being in the southwesterly boundary line of said City of Roanoke tract from which a fence corner found for the most southerly corner thereof bears South 25°03'15" West at 1029.86 feet;

THENCE North 25°03'15" East with the northwesterly boundary line of said Lehigh tract and the southeasterly boundary line of said City tract a distance of 853.69 feet to the **POINT OF BEGINNING** and containing 8.9639-acre of land, more or less.



CITY OF ROANOKE
 500 S. OAK STREET
 ROANOKE, TEXAS 76262
 (817) 491-2411

SPECIFIC USE PERMIT APPLICATION

Name of Applicant/Agent Kevin Kriston	Address, City, State, Zip 1000 Jack C. Hays Trail, Buda TX 78610	Phone Number and email 512-971-1851 kkriston@texaslehigh.com
Type of permit requested Commercial Building	Name of Business Texas Lehigh Cement Co., LP	Email and Website-if applicable www.texaslehigh.com
Property Owner(s) Texas Lehigh Cement Co., LP	Address, City, State, Zip 1000 Jack C. Hays Trail, Buda TX 78610	Phone Number and email 512-295-6111
Legal Description – Lot/Block/Subdivision MEP & PRR Survey, Abstract 923	Property Address 400 Hwy 377, Roanoke TX 76262	Present Zoning Business Park (BP)

Are there deed restrictions that would prevent this property from being used in the manner herein proposed? no

Justification for request for Special Use Permit: expanding existing facility to continue to do business

Authorization:

I/ We Texas Lehigh Cement Co., LP owner(s) of the above described property do here by authorize Kevin Kriston to act on my/our behalf in making and representing this Specific Use permit application.

Neil Elick
 Owner(s) Signature

11-12-2025
 Date

 Owner(s) Signature

 Date

Include the following:

Specific Use Permit application fee of \$200.00**. A copy of a survey map of the property and a concept plan or site plan in a pdf format.

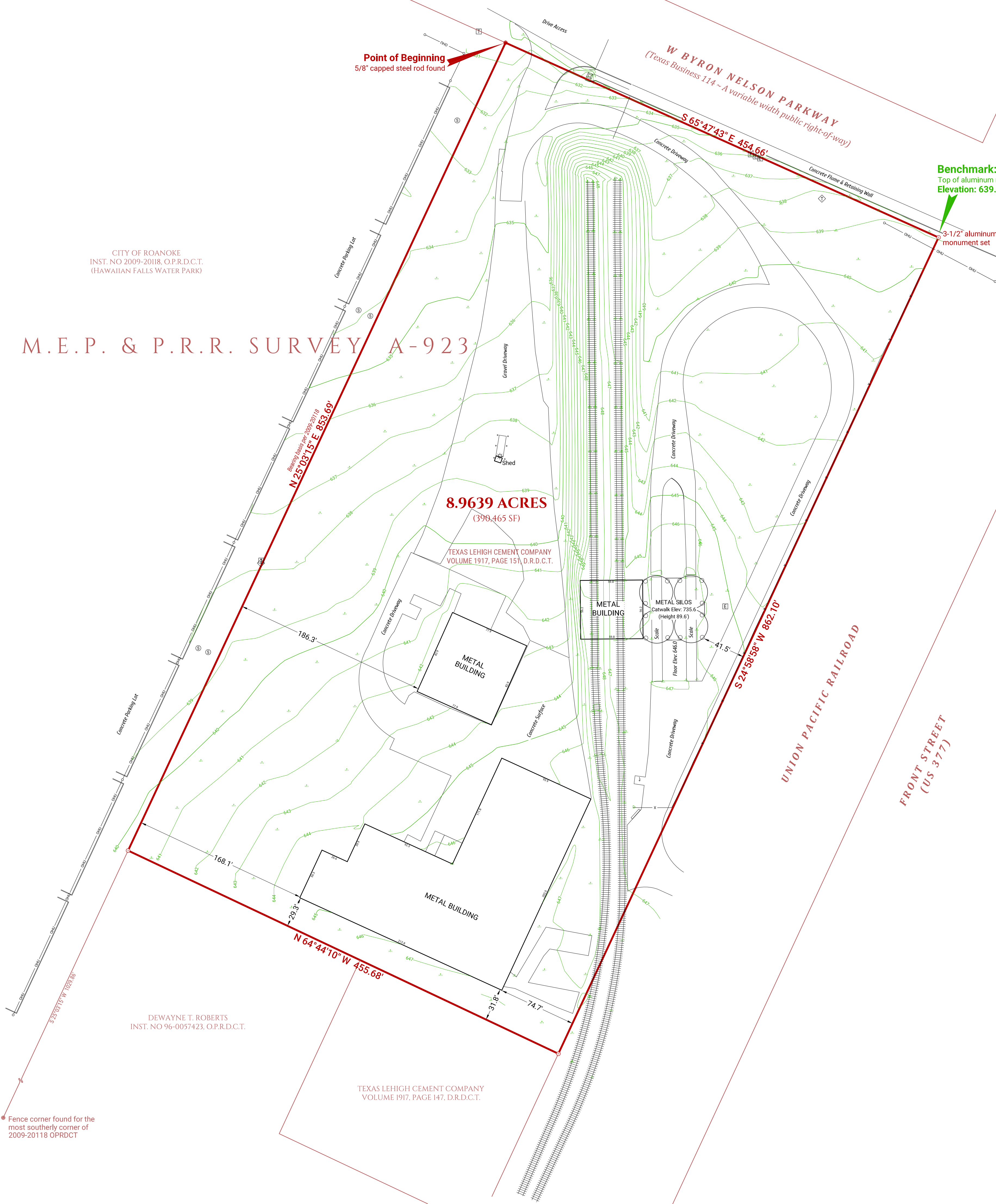
Kevin M. Kriston
 Applicants Signature

17 Nov. 2025
 Date

**Fees are subject to change as amended by Ordinance.

FOR OFFICE USE ONLY

Application Fee	P&Z Meeting JAN 05 2026	CC Meeting JAN 13 2026	File for Record SUP- <u>2026 - 01</u>
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CITY OF ROANOKE
INST. NO 2009-20118, O.P.R.D.C.T.
(HAWAIIAN FALLS WATER PARK)

M.E.P. & P.R.R. SURVEY A-923

8.9639 ACRES
(390,465 SF)

TEXAS LEHIGH CEMENT COMPANY
VOLUME 1917, PAGE 151, D.R.D.C.T.

METAL BUILDING

METAL BUILDING
METAL SILOS
Cathwalk Elev: 735.6
(Height 89.6)
Scale
Floor Elev: 646.0
Scale

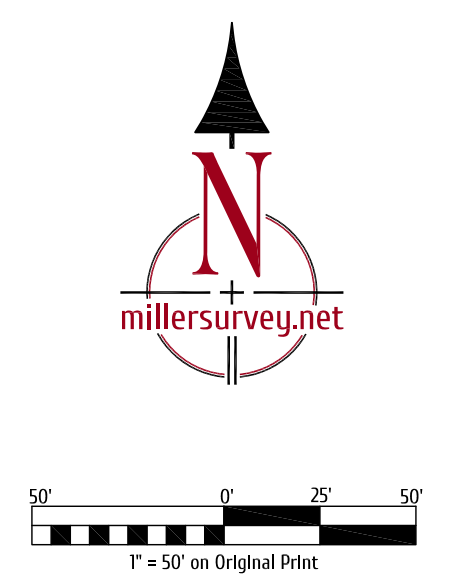
METAL BUILDING

TEXAS LEHIGH CEMENT COMPANY
VOLUME 1917, PAGE 147, D.R.D.C.T.

DEWAYNE T. ROBERTS
INST. NO 96-0057423, O.P.R.D.C.T.

Fence corner found for the
most southerly corner of
2009-20118 OPRDCT

Symbol Legend	
□	Telecom Access
○	Telecom Manhole
○	Telecom Marker
△	Telecom Pedestal
□	Electric Cabinet
○	Electric Manhole
○	Electric Marker
○	Electric Service
○	Light Pole/Post
□	Electric Cabinet
○	Gas Marker
△	Gas Meter/Service
○	Gas Test Station
○	Gas Manhole
□	Water Vault
○	Fire Hydrant
○	Water Valve
○	Water Meter
○	Water Manhole
○	Fire Dept. Connect
○	Sanitary Manhole
○	Cleanout
○	Sanitary Marker
○	Storm Manhole
○	Drop Inlet
○	Grate Inlet
○	Traffic/Parking Sign
○	Traffic Control
—○—○—	Overhead Utility Line & Pole
—x—x—	Center of Fence
●	Steel rod found/capped (SRF/CSRF)
○	1/2" MILLER 5665" steel rod set (CSRS)
○	Cross in concrete found/set (CF/CS)



- NOTES:**
- 1) Elevations are based on NAVD 1988
 - 2) Directional control based on the easterly boundary line of the City of Roanoke tract per Inst. No. 2009-20118

LEGAL DESCRIPTION OF SURVEYED TRACT: Being a tract of land out of the M.E.P. & P.R.R. Survey, Abstract No. 923, and situated in the City of Roanoke, Denton County, Texas, said tract being the same tract of land described in the deed to Texas Lehigh Cement Company recorded in Volume 1917, Page 151 of the Deed Records of Denton County, Texas, and being more particularly described by metes and bounds as follows:

Beginning at a 5/8 inch capped steel rod found for the most northerly corner of said Lehigh tract, said rod being the most easterly corner of the same tract of land described in the deed to City of Roanoke recorded as Instrument No. 2019-201118 and also being in the southwesterly right-of-way line of W Byron Nelson Parkway (Texas Business 114);

Thence South 65 degrees 47 minutes 43 seconds East with the northeasterly boundary line of said Lehigh and with said right-of-way line a distance of 454.66 feet to a 3-1/2 inch aluminum monument set for the most easterly corner of said Lehigh tract, said monument being in the northwesterly right-of-way line of the Union Pacific Railroad;

Thence South 24 degrees 58 minutes 58 seconds West with the southeasterly boundary line of said Lehigh tract and with said northwesterly railroad right of way a distance of 862.10 feet to 1/2 inch "MILLER 5665" capped steel rod set for the most southerly corner of said Lehigh tract;

Thence North 64 degrees 44 minutes 10 seconds West with the southwesterly boundary line of said Lehigh tract a distance of 455.68 feet to a 1/2 inch "MILLER 5665" capped steel rod set for the most westerly corner thereof, said rod being in the southwesterly boundary line of said City of Roanoke tract from which a fence corner found for the most southerly corner thereof bears South 25 degrees 03 minutes 15 seconds West at 1029.86 feet;

Thence North 25 degrees 03 minutes 15 seconds East with the northwesterly boundary line of said Lehigh tract and the southeasterly boundary line of said City tract a distance of 853.69 feet to the **point of beginning** and containing 8.9639 acre of land, more or less.

BOUNDARY & TOPOGRAPHIC SURVEY 400 FRONT STREET ROANOKE, DENTON COUNTY, TEXAS

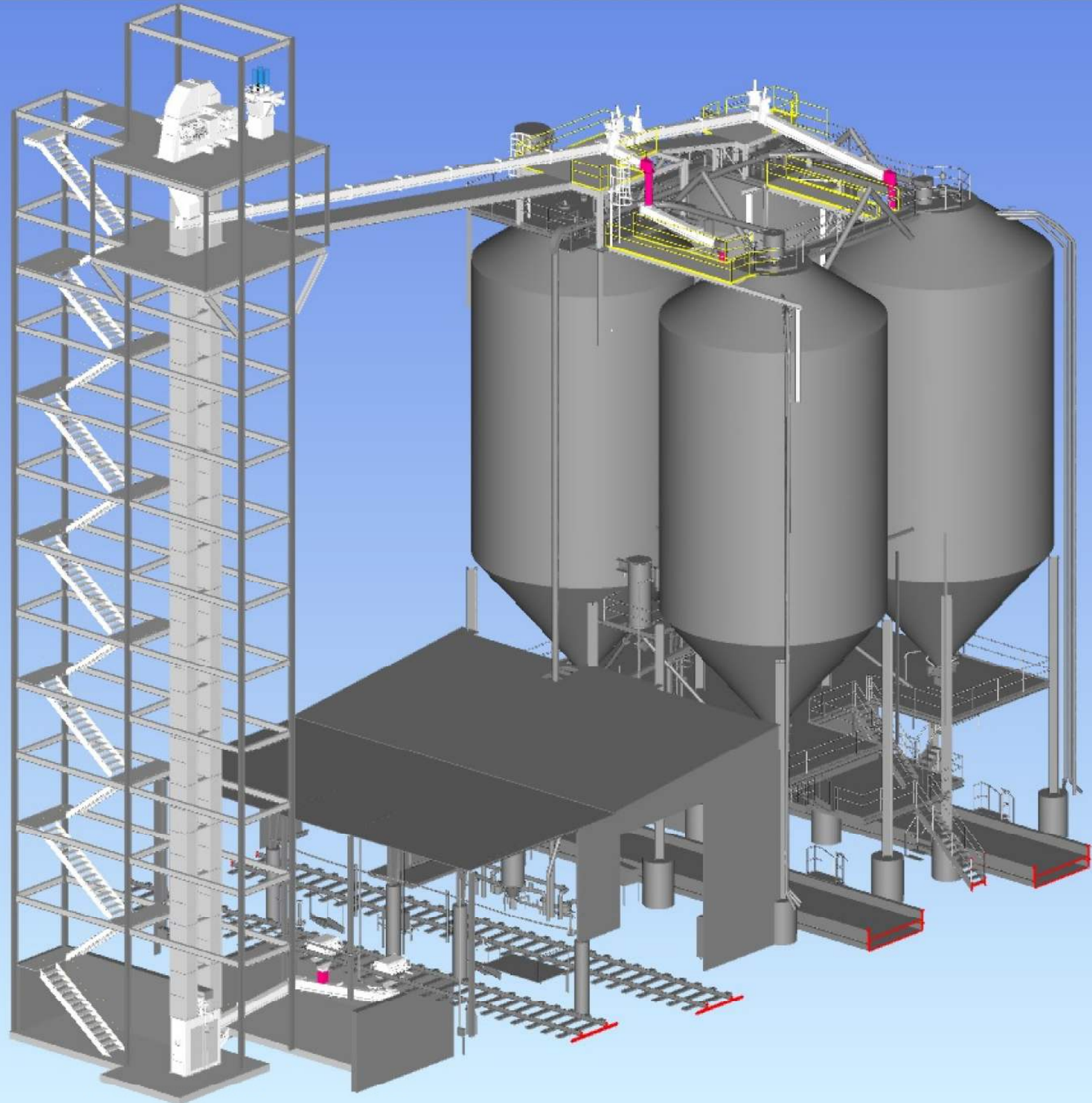
I, Jason B. Rawlings, Registered Professional Land Surveyor No. 5665 of the State of Texas, by placing my seal hereon, certify to the above parties that: a) This document serves as my graphic representation of a land survey of the 8.9639 acre tract of land shown and described hereon (the "Surveyed Tract"); b) Said survey being performed on the ground, under my supervision, on September 26, 2025; c) The boundary lines and dimensions indicated hereon are based on said survey and are true and correct; d) As of the Date of Certification, the corner monuments shown hereon were in place as indicated; e) The location of all buildings and improvements shown hereon are as depicted and are set back from the tract boundaries by the dimensions shown; f) There are no visible encroachments, protrusions, boundary line conflicts, visible easements, or easements of record as furnished to me, affecting the surveyed tract, except as shown or noted otherwise; g) The surveyed tract adjoins and has vehicular access to one or more public rights-of-way.

Date of Certification: October 9, 2025



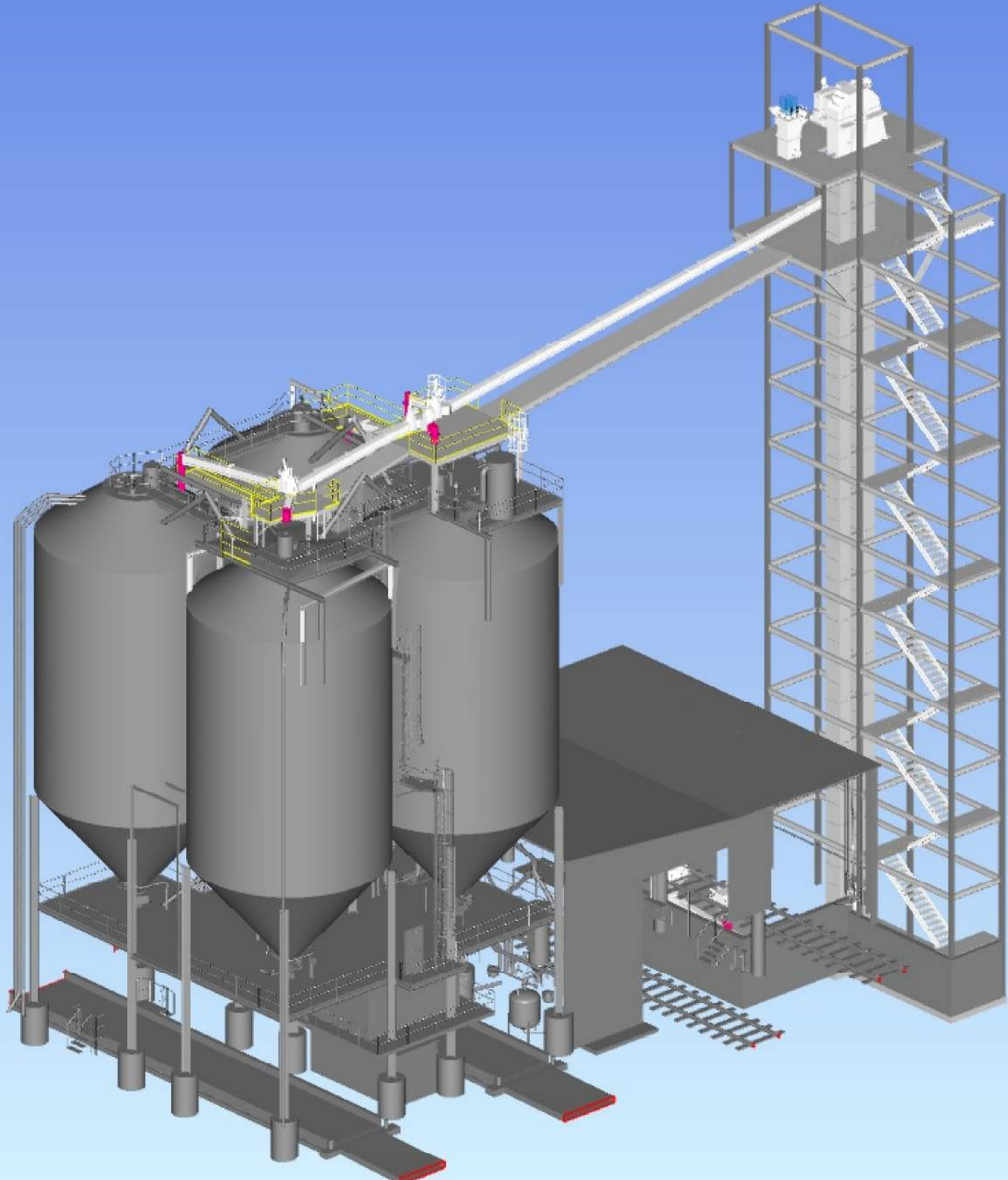
TEXAS LEHIGH CEMENT
ROANOKE TERMINAL
CONCEPT SKETCH 01 - 251113

- EQUIPMENT SHOWN IN WHITE IS NEW
- BUCKET ELEVATOR & STAIR TOWER
 - AIR SLIDE CONVEYORS
 - BAG FILTERS



TEXAS LEHIGH CEMENT
ROANOKE TERMINAL
CONCEPT SKETCH 02 - 251113

- EQUIPMENT SHOWN IN WHITE IS NEW
- BUCKET ELEVATOR & STAIR TOWER
 - AIR SLIDE CONVEYORS
 - BAG FILTERS



TEXAS LEHIGH CEMENT
ROANOKE TERMINAL
CONCEPT SKETCH 03 - 251113

EQUIPMENT SHOWN IN WHITE
IS NEW

- BUCKET ELEVATOR &
STAIR TOWER
- AIR SLIDE CONVEYORS
- BAG FILTERS

142'-0"

89'-6"

FRONT





AGENDA ITEM

TO: Mayor and City Council

SUBJECT: Nominate and Elect Mayor Pro Tem

MEETING DATE: May 12, 2026

DEPARTMENT: City Secretary

ITEM SUMMARY:

Consideration and action to nominate and elect a City Council Member as Mayor Pro Tem.

INFORMATION:

SECTION 3.04 Mayors and Mayor Pro-Tem

(2) The Mayor Pro-Tem shall be a Council Member elected annually by the City Council at the first regular meeting after each election of Council members and/or Mayor, or at the first regular meeting in June, in the event there is no election for Council members and/or Mayor. The Mayor Pro-Tem shall act as Mayor during the disability or absence of the Mayor, and in this capacity shall have the rights conferred upon the Mayor.

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

None



AGENDA ITEM

TO: Mayor and City Council

SUBJECT: Site Plan request by The John McAdams Company and the City of Roanoke for a hotel

MEETING DATE: May 12, 2026

DEPARTMENT: Planning

ITEM SUMMARY:

Consider and make a decision on a Site Plan request by The John McAdams Company and the City of Roanoke for a hotel to be located on an approximately 3.269-acre parcel legally described as Lot 1, Block B, Roanoke City Center Addition, and generally located northeast of the intersection of Parish Lane and South Oak Street. (SP-2026-02)

INFORMATION:

The City of Roanoke and John McAdams Company are requesting a site plan approval for a full-service hotel and convention center, located on a 3.269-Acre parcel which is generally located northeast of the South Oak Street and Parish Lane intersection. The hotel is proposed to be 5-stories, with a total area of 61,448 square feet. An amended plat of the property has been approved administratively.

Zoning District	Oak Street Corridor Zoning District — Civic/Mixed Use Zone. The use is permitted by-right in the Civic/Mixed-Use Zoning District.
Design	The proposed elevations indicate that the architectural standards of the Zoning District will be met.
Landscape	The proposed landscape plan indicates that all landscaping requirements will be met.
Civil Construction	The Civil Construction plans have been accepted by the City.
Parking	315 spaces are required. The site plan indicates a total of 343 parking spaces are provided. 298 will be located in the parking garage, with an additional 45 parallel and angled spaces provided.

On May 4th, 2026, the Planning & Zoning commission made a motion and voted to recommend approval of the site plan.



AGENDA ITEM

STAFF RECOMMENDATION:

Staff recommends approval of the request

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. SP-2026-02 SITE PLAN
2. SP-2026-02 Elevations
3. SP-2026-02 Landscape Plans
4. SP-2026-02 Acceptance Letter



MCADAMS
The John R. McAdams Company, Inc.
4400 State Highway 121, Suite 800
Irvingville, Texas 75036
phone 972-436-9712
fax 972-436-9715
www.mcadamsco.com

CLIENT
8804 ROWELL
8800 PARK LANE, STE. 800
DALLAS, TX 75231
PHONE 972-701-3000

SITE PLAN
500 S OAK STREET
LOT J, BLOCK B
3.269 ACRES IN THE
HOOPER SURVEY, ABSTRACT NO. 603
CITY OF ROANOKE
DENTON COUNTY

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF THE CLIENT REVIEW UNDER THE AUTHORITY OF THE CITY OF ROANOKE, TEXAS, 10/28/08 ON 04.10.2008 FOR CONSTRUCTION PURPOSES. FINAL BIDDING AND SEALED PLANS SHALL BE ISSUED PRIOR TO THE RELEASE FOR CONSTRUCTION.

REVISIONS

NO.	DATE	DESCRIPTION
1	02.20.08	1ST SET PLAN SUBMITTAL
2	03.20.08	2ND SET PLAN SUBMITTAL
3	04.10.2008	3RD SET PLAN SUBMITTAL

PLAN INFORMATION

PROJECT NO. SPEC2008S114mg
CHECKED BY MASM
DRAWN BY NW
SCALE 1" = 30'
DATE 02.03.2008
SHEET

SITE PLAN
SP08

BENCHMARK NOTES
THE BENCHMARK IS THE SURVEY POINT FOR THE PROJECT. THE BENCHMARK IS THE SURVEY POINT FOR THE PROJECT. THE BENCHMARK IS THE SURVEY POINT FOR THE PROJECT.

GRAPHIC SCALE
1" = 30'

SEE SHEET FOR NOTES (AS APPLICABLE)

SITE LEGEND

- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EXISTING GAS LINE
- EXISTING WATER LINE
- EXISTING SEWER LINE
- EXISTING STORM LINE
- EXISTING UNDERGROUND ELECTRIC
- PROPOSED WATER LINE
- EXISTING ST. PA.
- EXISTING WATER METERS
- EXISTING WATER MAIN
- EXISTING SEWER MAIN
- EXISTING STORM MAIN
- PROPOSED ST. PA.
- PROPOSED FIC
- EXISTING LIGHT POLE
- PROPOSED LIGHT POLE

PAVEMENT SPECIFICATION LEGEND

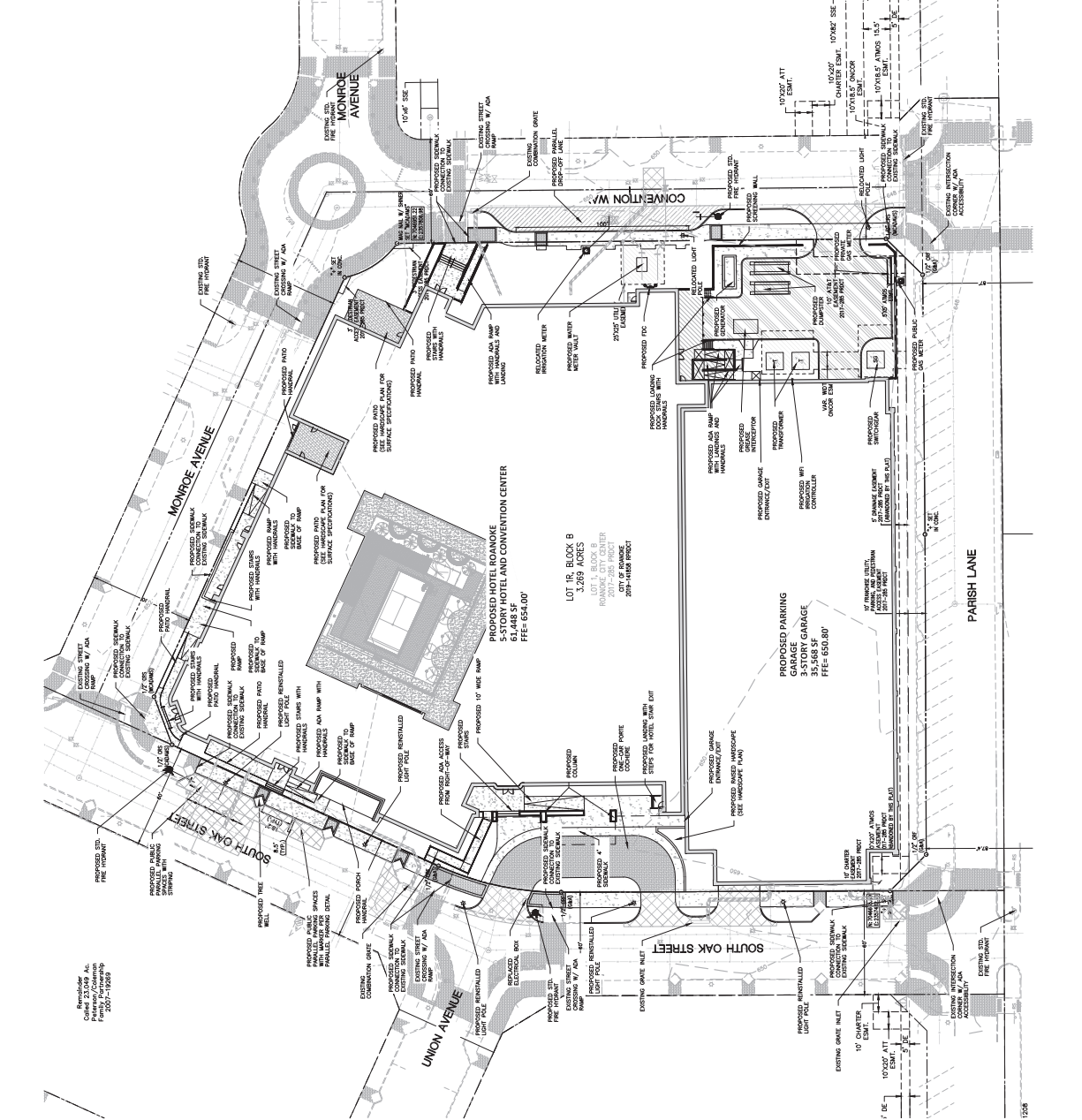
- LANDING JACK PAVEMENT
- STREET AND PARKING PAVEMENT
- EDGE-CUT, INTERLOCK JOINTS
- EDGE-CUT, STIMPS, AND STIMPS CONCRETE
- SEWERAGE
- ENHANCED PEDESTAL CONCRETE
- REFER TO STRUCTURAL SHEETS

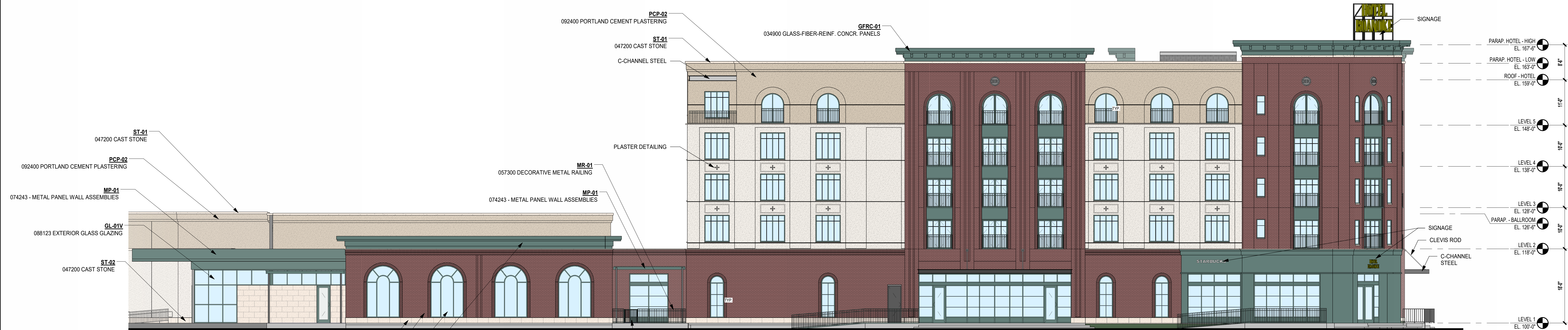
Site Data Table

EXISTING ZONING	OAK STREET CORRIDOR ZONING DISTRICT
PROPOSED ZONING	OAK STREET CORRIDOR ZONING DISTRICT
GROSS AREA	3,269 AC (142,397 SQ. FT.)
PROPOSED USES	PARKING (STRUCTURED), FULL-SERVICE HOTEL
SQUARE FOOTAGE PER USE	156,700
TOTAL BUILDING AREA (SQ. FT.)	106,704
TOTAL BUILDING AREA (SQ. FT.)	272,773
MAXIMUM LOT COVERAGE	100%
MAXIMUM BUILDING HEIGHT	59' ROOF (65' WITH PARAPET)
PARKING RATIO PER CITY ORDINANCE	ONE (1) PER 45 SQ. FT.
PLATE OF ASSEMBLY	ONE (1) PER 150 SQUARE FEET OF FLOOR AREA
REQUIRED PARKING	ONE (1) PER 450 SQUARE FEET OF FLOOR AREA
REQUIRED PARKING	315
STRUCTURED PARKING	298
ADJACENT ANGLED SPACES	31
TOTAL PROVIDED PARKING	343

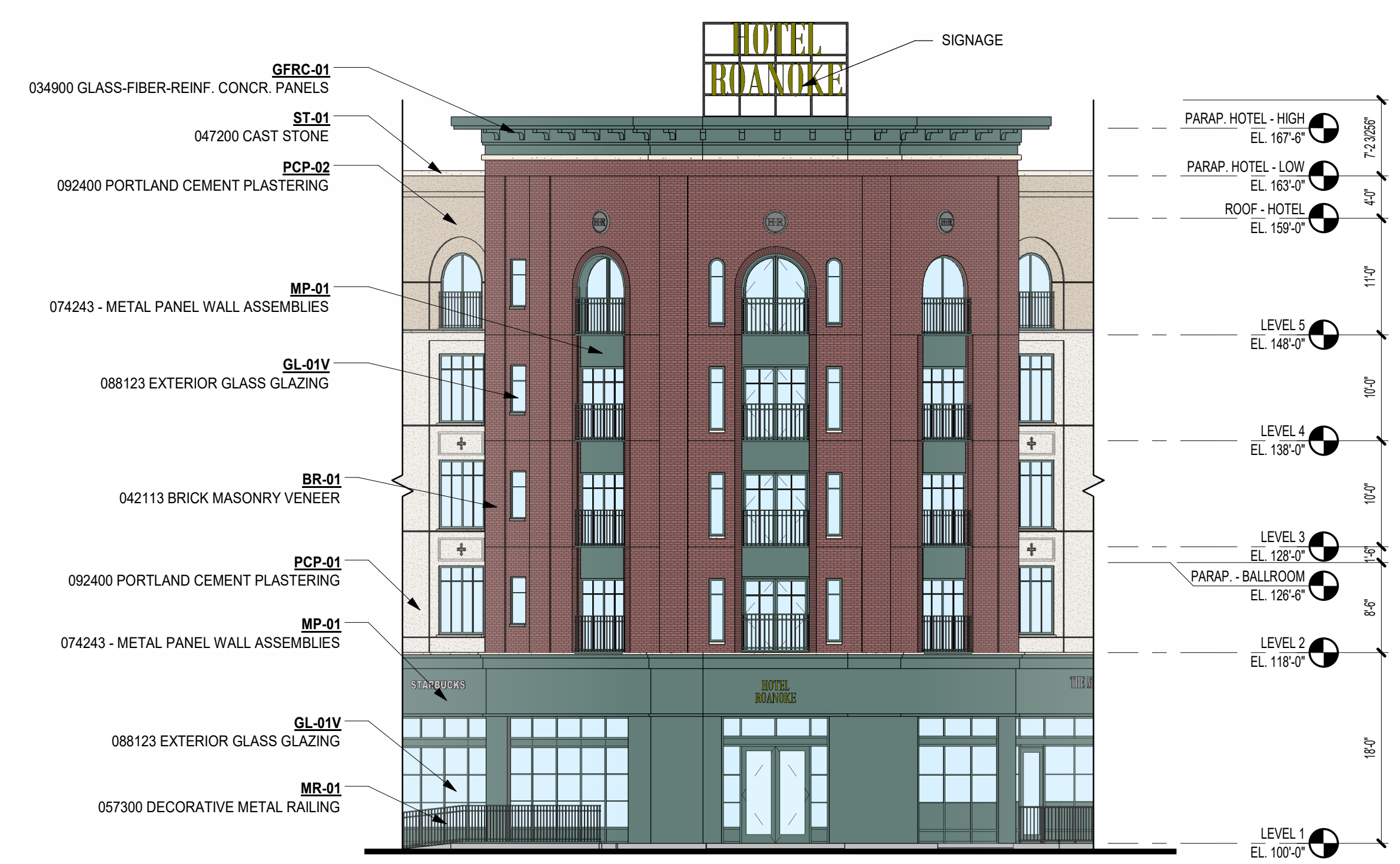
SITE PLAN NOTES:

- CONTRACTOR TO FINISH ALL EXISTING STEPS AND PAVED OUTSIDE OF THE RIGHT-OF-WAY.





03 FACADE MATERIAL CALCS_NORTHEAST ELEVATION
 SCALE: 3/32" = 1'-0"



02 FACADE MATERIAL CALCS_FRONT CORNER ELEVATION
 SCALE: 3/32" = 1'-0"



01 FACADE MATERIAL CALCS_NORTHWEST ELEVATION
 SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE - NORTHEAST ELEVATION		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	30.75%	4,467.98
STUCCO	31.77%	4,616.61
METAL PANEL	6.77%	984.15
GLASS FIBER REINFORCED CONCRETE	4.10%	595.49
CAST STONE	5.18%	752.82
GLAZING	21.43%	3,114.80
TOTAL SF		14,531.85

MATERIAL PERCENTAGE - FRONT CORNER ELEVATION		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	36.46%	385.51
STUCCO	0%	0.00
METAL PANEL	19.68%	208.09
GLASS FIBER REINFORCED CONCRETE	9.89%	104.56
CAST STONE	2.57%	27.21
GLAZING	31.41%	332.10
TOTAL SF		1,057.47

MATERIAL PERCENTAGE - NORTHWEST ELEVATION		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	27.10%	3,463.78
STUCCO	39.64%	5,064.55
METAL PANEL	6.23%	795.46
GLASS FIBER REINFORCED CONCRETE	2.89%	369.8
CAST STONE	2.40%	306.54
GLAZING	21.72%	2,774.67
TOTAL SF		12,774.80

These documents are issued for pricing only and are not for regulatory approval, permitting or construction.

Arch: W. Lane Acree Reg. No.: 24725

client
 CITY OF ROANOKE
 500 S. OAK STREET
 ROANOKE, TX 76262
 817.491.2411

developer
 GARFIELD PUBLIC PRIVATE
 14911 QUORUM DRIVE STE 380
 DALLAS, TX 75254
 214.289.7820

general contractor
 BRASFIELD & GORRIE
 8350 N. CENTRAL EXPY., STE 1000
 DALLAS TX 75206
 214.624.5500

interior designer
 LOONEY & ASSOCIATES
 3131 MCKINNEY AVE. STE 310
 DALLAS, TX 75204
 214.720.4477

structural engineer
 THORNTON TOMASETTI
 8750 N. CENTRAL EXPRESSWAY, STE 700
 DALLAS, TX 75231
 972.387.8393

mep engineer
 BLUM ENGINEERS
 12790 MERIT DR. STE 700
 DALLAS, TX 75251
 214.373.8222

civil engineer
 MCADAMS COMPANY
 4400 STATE HIGHWAY 121, SUITE 800
 LEWISVILLE, TX 75056
 972.436.9712

landscape design
 WORD + CARR DESIGN GROUP
 2201 N. LAMAR BLVD.
 AUSTIN, TX 78705
 512.440.0013

food service consultant
 WORRELL DESIGN
 10705 BRIAR FOREST DRIVE
 HOUSTON, TX 77042
 713.784.0290

project
 ROANOKE HOTEL & CONVENTION
 CENTER
 600 S OAK STREET, ROANOKE, TX 76262

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original issue

SITE PLAN 01/30/2026

revisions

1 2ND SUBMITTAL 03/20/2026

title
**FACADE MATERIAL CALC
 ELEVATIONS**

project number 23069.101

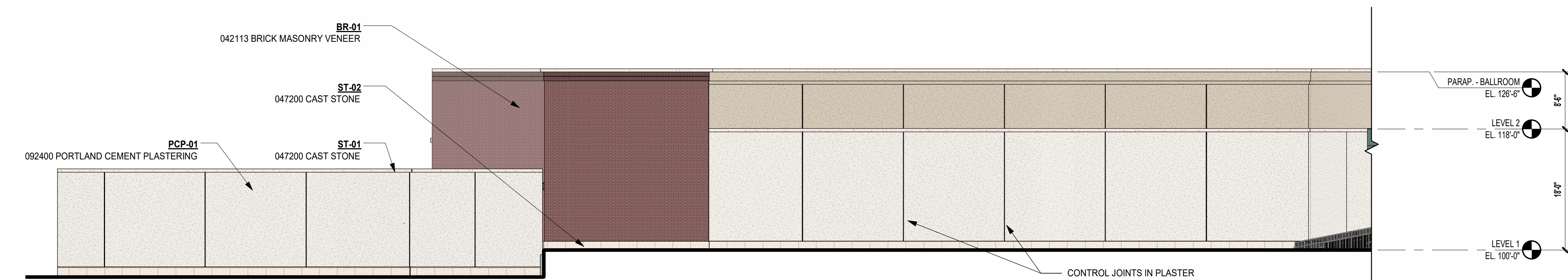
date 03/20/2026

sheet

SP31



FACADE MATERIAL
 CALCS_ELEVATION - CONVENTION
03
 ENTRY
 SCALE: 3/32" = 1'-0"



FACADE MATERIAL CALCS_EAST
 ELEVATION - CONVENTION DROP
02
 SCALE: 3/32" = 1'-0"



FACADE MATERIAL CALCS_WEST
 ELEVATION - PORTE COCHERE
01
 SCALE: 3/32" = 1'-0"

MATERIAL PERCENTAGE - EAST ELEVATION (CONVENTION ENTRY)		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	11.03%	521.92
STUCCO	62.89%	2,975.00
METAL PANEL	2.67%	126.42
GLASS FIBER REINFORCED CONCRETE	3.94%	186.57
CAST STONE	2.80%	132.52
GLAZING	16.65%	787.77
TOTAL SF		4,730.20

MATERIAL PERCENTAGE - EAST ELEVATION (CONVENTION DROP)		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	16.38%	956.38
STUCCO	75.45%	4,406.39
METAL PANEL	0.48%	28
GLASS FIBER REINFORCED CONCRETE	0.00%	0
CAST STONE	7.69%	449.2
GLAZING	0.00%	0.00
TOTAL SF		5,839.97

MATERIAL PERCENTAGE - WEST ELEVATION (PORTE COCHERE)		
MATERIAL	% OF TOTAL SF	SQUARE FOOTAGE (SF)
BRICK	23.97%	1,886.41
STUCCO	34.50%	2,714.98
METAL PANEL	3.83%	301.25
GLASS FIBER REINFORCED CONCRETE	2.44%	192
CAST STONE	17.43%	1371.58
GLAZING	17.84%	1,403.64
TOTAL SF		7,869.86

LANDSCAPE DATA			EXISTING TREE LEGEND	
PERIMETER LANDSCAPE	REQUIRED	PROVIDED	TREE GRAPHICS	
			SYM.	NOTE
NO SPECIFIC PERIMETER PLANTING REQUIREMENTS FOR THE OAK STREET CORRIDOR ZONING DISTRICT.	0 SF	15,596 SF		EXISTING TREE TO BE PRESERVED (19 QTY.)
NUMBER OF TREES - REQUIRED AT 50' ON CENTER ALONG ALL PUBLIC STREET FRONTAGES (EXCLUDING ALLEYS) (MIN. 3' CALIPER TREE MEASURED AT 6" ABOVE GROUND LEVEL)	29	34*		EXISTING TREE TO BE REMOVED (3 QTY.)
*COUNT INCLUDES EXISTING TREES TO BE PRESERVED				
INTERIOR LANDSCAPE	REQUIRED	PROVIDED		
NO SPECIFIC INTERIOR PLANTING REQUIREMENTS FOR THE OAK STREET CORRIDOR ZONING DISTRICT.	0 SF	1,369 SF		EXISTING TREE TO BE REMOVED (3 QTY.)
NUMBER OF TREES	0	10		
NON-VEHICULAR LANDSCAPE	REQUIRED	PROVIDED		
NO SPECIFIC NON-VEHICULAR PLANTING REQUIREMENTS FOR THE OAK STREET CORRIDOR ZONING DISTRICT.	0 SF	0 SF		EXISTING TREE TO BE TRANSPLANTED (3 QTY.)
NUMBER OF TREES	0	0		
TOTAL SITE AREA DEVOTED TO LANDSCAPE	10%		ADDITIONAL TREE SURVEY INFORMATION PENDING AS OF 3/26	

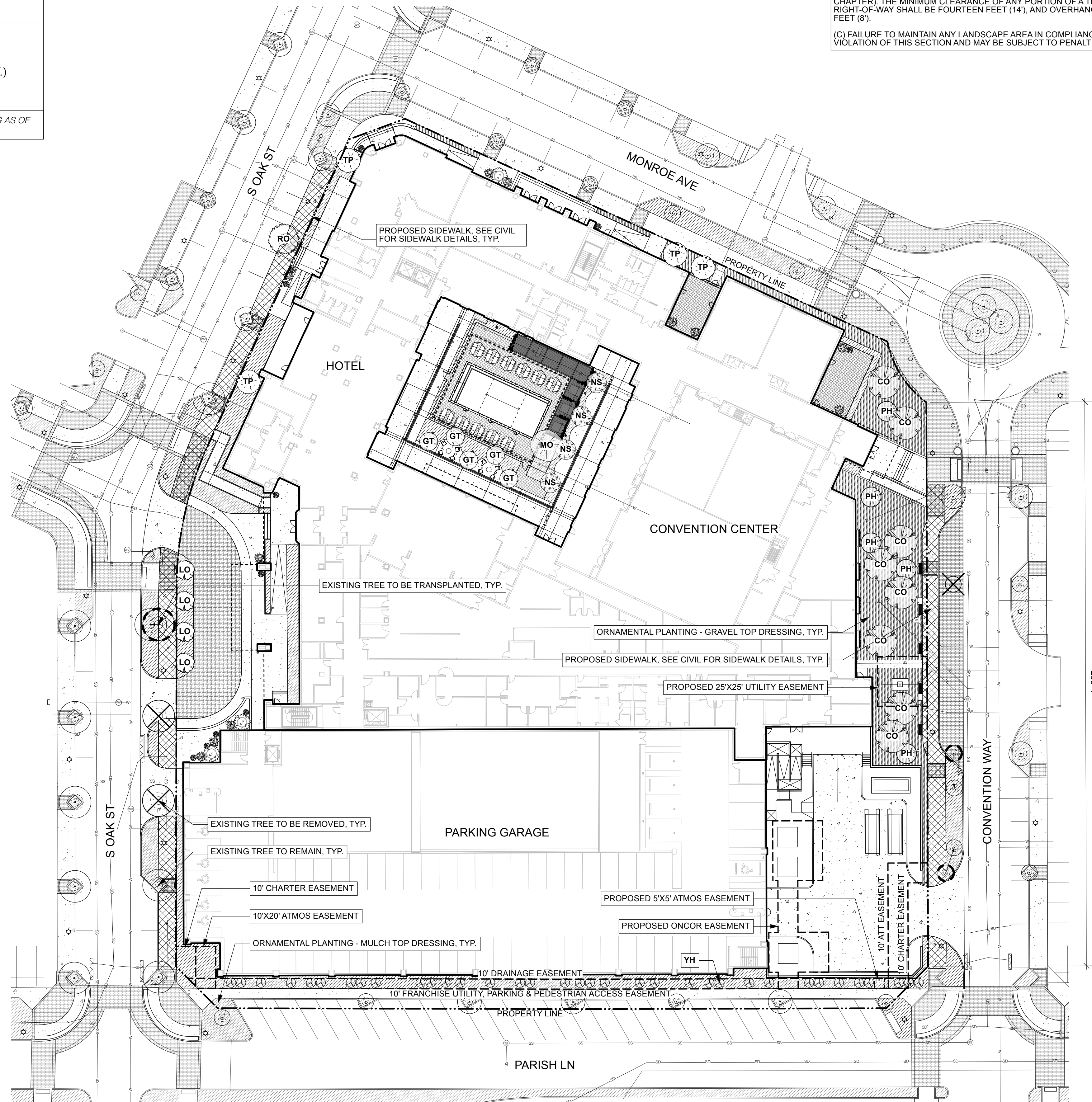
PLANTING SCHEDULE						
TREES						
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPACING	PLANTED HT
	CO	8	CHINQUAPIN OAK	<i>Quercus muehlenbergii</i>	PER PLAN	12'0"
	GT	5	GINKGO TREE	<i>Ginkgo biloba</i>	PER PLAN	10'0"
	LO	4	LACEY OAK	<i>Quercus laceyi</i>	PER PLAN	10'0"
	MO	1	MONTERREY OAK	<i>Quercus polymorpha</i>	PER PLAN	12'0"
	PH	4	POSSUMHAW HOLLY	<i>Ilex decidua</i>	PER PLAN	8'0"
	RO	1	RED OAK	<i>Quercus shumardii</i>	PER PLAN	12'0"
	TP	4	TEXAS PERSIMMON	<i>Diospyros texana</i>	PER PLAN	6'0"
	YH	36	YAUPON HOLLY	<i>Ilex vomitoria</i>	PER PLAN	9'0"
TALL SHRUBS						
SYMBOL	CODE	QTY	COMMON NAME	BOTANICAL NAME	SPACING	PLANTED HT
	NS	4	NELLIE R. STEVENS HOLLY	<i>Ilex 'Nellie R. Stevens'</i>	PER PLAN	8'0"
PLANTING AREAS						
SYMBOL	QTY	NAME	NOTES			
	10,820 SF	ORNAMENTAL PLANTING - MULCH TOP DRESSING	50% SHRUBS + 28% GRASSES + 20% PERENNIALS + 2% VINES			
	6,350 SF	ORNAMENTAL PLANTING - GRAVEL TOP DRESSING	50% SHRUBS + 28% GRASSES + 20% PERENNIALS + 2% VINES			
PLANTING AREA SCHEDULE						
SHRUBS						
COMMON NAME	BOTANICAL NAME	SPACING	SIZE	PLANTED HT		
BOXWOOD (GLOBE)	<i>Buxus microphylla var. japonica</i>	2'0"	30 GAL	2'0"		
BOXWOOD (GLOBE)	<i>Buxus microphylla var. japonica</i>	1'6"	15 GAL	1'6"		
DWARF PALMETTO	<i>Sabal minor</i>	4'0"	15 GAL	2'6"		
DWARF YAUPON HOLLY	<i>Ilex vomitoria 'Nana'</i>	3'4"	7 GAL	2'0"		
JAPANESE ARALIA	<i>Fatsia japonica</i>	2'6"	5 GAL	2'0"		
PINEAPPLE GUAVA	<i>Feijoa sellowiana</i>	4'0"	15 GAL	3'4"		
PERENNIALS						
COMMON NAME	BOTANICAL NAME	SPACING	SIZE	PLANTED HT		
BLACKFOOT DAISY	<i>Melampodium leucanthum</i>	2'0"	1 GAL	6"		
GIANT LEOPARD PLANT	<i>Farfugium japonicum var. giganteum</i>	2'0"	3 GAL	1'6"		
GIANT WIDELEAF HESPERALOE	<i>Hesperaloe funifera ssp. chiangii</i>	4'0"	15 GAL	3'0"		
HENRY DUELBERG MEALY SAGE	<i>Salvia farinacea 'Henry Duelberg'</i>	1'8"	1 GAL	1'0"		
HOLLY FERN	<i>Cyrtomium falcatum</i>	2'0"	3 GAL	1'3"		
HOT LIPS SALVIA	<i>Salvia microphylla 'Hot Lips'</i>	2'6"	3 GAL	1'0"		
LAMB'S EAR	<i>Stachys byzantina</i>	1'3"	1 GAL	6"		
SOFT LEAF YUCCA	<i>Yucca recurvifolia</i>	3'0"	7 GAL	1'6"		
TROPICAL GIANT SPIDER LILY	<i>Hymenocallis caribaea 'Tropical Giant'</i>	3'0"	3 GAL	1'8"		
WOOD FERN	<i>Thelypteris kunthii</i>	1'8"	1 GAL	1'3"		
GRASSES						
COMMON NAME	BOTANICAL NAME	SPACING	SIZE	PLANTED HT		
BERKELEY SEDGE	<i>Carex divulsa</i>	1'3"	1 GAL	6"		
LITTLE BLUESTEM	<i>Schizachyrium scoparium</i>	1'3"	1 GAL	10"		
LITTLE KITTEN MAIDEN GRASS	<i>Miscanthus sinensis 'Little Kitten'</i>	3'0"	3 GAL	1'3"		
SHENANDOAH SWITCH GRASS	<i>Panicum virgatum 'Shenandoah'</i>	4'0"	5 GAL	2'6"		
SIDEATS GRAMA	<i>Bouteloua curtipendula</i>	1'6"	1 GAL	10"		
VINES						
COMMON NAME	BOTANICAL NAME	SPACING	SIZE	PLANTED HT		
CROSSVINE	<i>Bignonia capreolata</i>	5'0"	5 GAL	2'6"		
EVERGREEN CLEMATIS	<i>Clematis armandii</i>	5'0"	5 GAL	2'6"		
FIG IVY	<i>Ficus pumila</i>	1'8"	1 GAL	1'0"		
HACIENDA CREEPER	<i>Parthenocissus 'Hacienda Creeper'</i>	3'0"	5 GAL	2'6"		
STAR JASMINE	<i>Trachelospermum jasminoides</i>	5'0"	5 GAL	2'6"		

GENERAL NOTES

ROANOKE, TEXAS CODE OF ORDINANCES SEC. 12.490. APPLICABILITY.
 (D) APPLICABILITY OF OTHER CITY ORDINANCES. THE DEVELOPMENT STANDARDS OF ARTICLE VII OF THIS CHAPTER SHALL NOT APPLY TO THE OAK STREET ZONING DISTRICT EXCEPT AS SPECIFICALLY REFERENCED HEREIN. DEVELOPMENT STANDARDS NOT ADDRESSED IN THIS SECTION SHALL BE GOVERNED BY THE CITY OF ROANOKE CODE OF ORDINANCES INCLUDING ANY SPECIAL DEVELOPMENT CONTROLS AND SITE PLAN REQUIREMENTS TO THE EXTENT THEY ARE NOT IN CONFLICT WITH THE INTENT OR TEXT OF THE OAK STREET ZONING DISTRICT.
 TREE PRESERVATION
 - TREE PRESERVATION FOR EXISTING TREES TO REMAIN SHALL COMPLY WITH ALL GUIDELINES OF THE CITY OF ROANOKE.

MAINTENANCE

ROANOKE, TEXAS CODE OF ORDINANCES SEC. 12.728. MAINTENANCE.
 (A) THE OWNER, TENANT AND/OR THEIR AGENT, IF ANY, SHALL BE JOINTLY AND SEVERALLY RESPONSIBLE FOR THE MAINTENANCE OF ALL LANDSCAPING. ALL REQUIRED LANDSCAPING SHALL BE MAINTAINED IN A NEAT AND ORDERLY MANNER AT ALL TIMES. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO, MOWING, EDGING, PRUNING, FERTILIZING, WATERING, WEEDING, AND OTHER SUCH ACTIVITIES COMMON TO THE MAINTENANCE OF LANDSCAPING. LANDSCAPED AREAS SHALL BE KEPT FREE OF TRASH, LITTER, WEEDS, AND OTHER SUCH MATERIAL OR PLANTS NOT A PART OF THE LANDSCAPING. ALL PLANT MATERIAL SHALL BE MAINTAINED IN A HEALTHY AND GROWING CONDITION AS IS APPROPRIATE FOR THE SEASON OF THE YEAR. PLANT MATERIALS WHICH DIE SHALL BE REPLACED WITH PLANT MATERIAL OF SIMILAR VARIETY AND SIZE, WITHIN NINETY (90) DAYS. TREES WITH A TRUNK DIAMETER IN EXCESS OF SIX INCHES (6") MEASURED FOUR FOOT (4') ABOVE THE GROUND MAY BE REPLACED WITH ONES OF SIMILAR VARIETY HAVING A TRUNK DIAMETER OF NO LESS THAN THREE INCHES (3") MEASURED FOUR FOOT (4') ABOVE THE GROUND ON A CALIPER-INCH FOR CALIPER-INCH BASIS (E.G., FOR A 6" TREE, TWO 3" REPLACEMENT TREES SHALL BE REQUIRED). A TIME EXTENSION MAY BE GRANTED BY THE CITY MANAGER OR HIS/HER DESIGNEE IF SUBSTANTIAL EVIDENCE IS PRESENTED TO INDICATE ABNORMAL CIRCUMSTANCES BEYOND THE CONTROL OF THE OWNER OR HIS/HER AGENT.
 (B) IT SHALL BE THE DUTY OF ANY PERSON OR PERSONS OWNING OR OCCUPYING REAL PROPERTY BORDERING ON ANY STREET TO PRUNE TREES NEXT TO THE STREET IN SUCH MANNER THAT THEY WILL NOT OBSTRUCT OR SHADE THE STREET LIGHTS, OBSTRUCT THE PASSAGE OF PEDESTRIANS ON SIDEWALKS, OBSTRUCT VISION OF TRAFFIC SIGNS, OR OBSTRUCT THE VIEW FROM ANY STREET OR ALLEY INTERSECTION (SEE VISIBILITY REQUIREMENTS, ARTICLE VII, DIVISION 5 OF THIS CHAPTER). THE MINIMUM CLEARANCE OF ANY PORTION OF A TREE OVERHANGING PUBLIC STREET RIGHT-OF-WAY SHALL BE FOURTEEN FEET (14'), AND OVERHANGING A PUBLIC SIDEWALK SHALL BE EIGHT FEET (8').
 (C) FAILURE TO MAINTAIN ANY LANDSCAPE AREA IN COMPLIANCE WITH THIS SECTION IS CONSIDERED A VIOLATION OF THIS SECTION AND MAY BE SUBJECT TO PENALTIES OF SECTION 12.952.

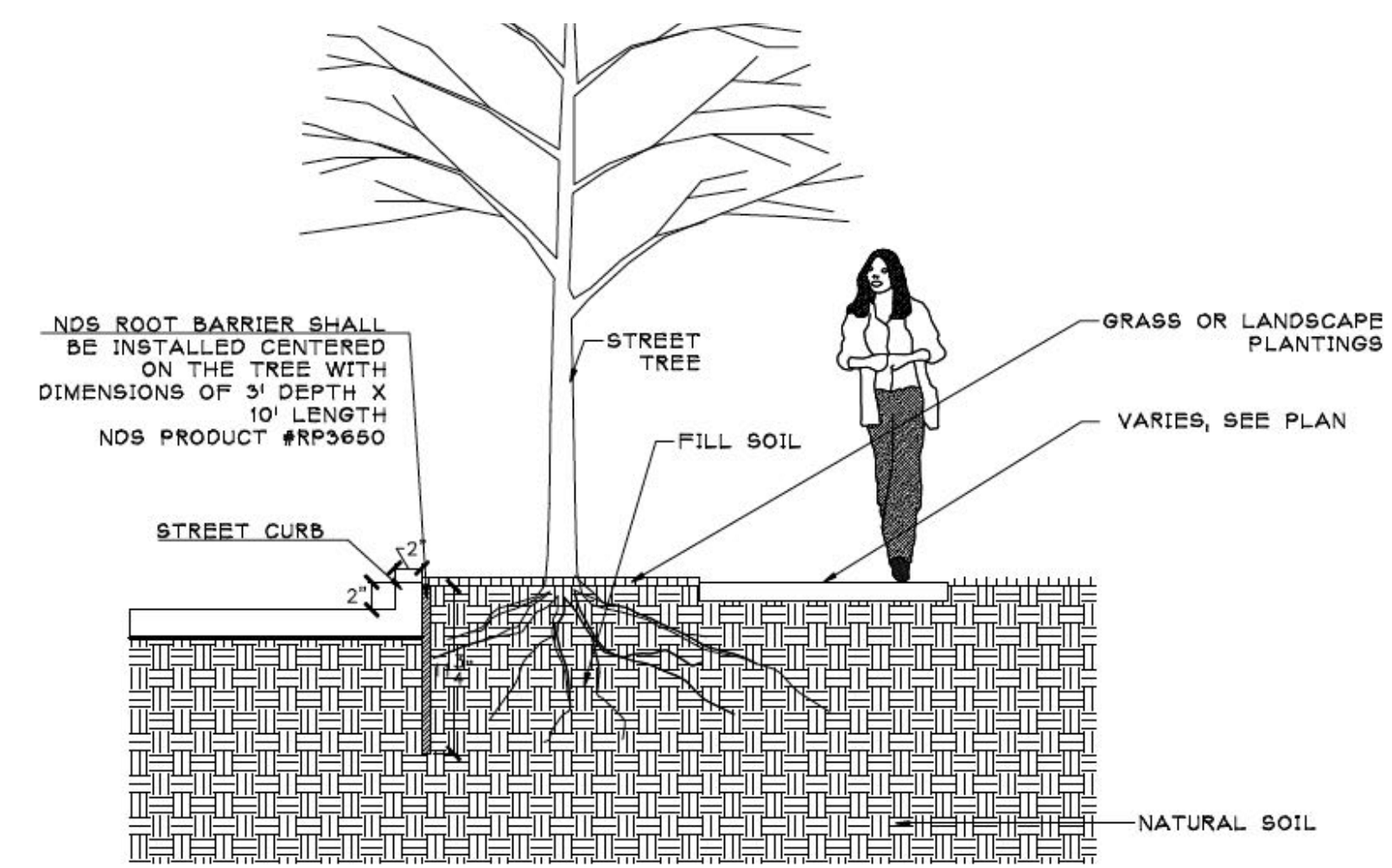
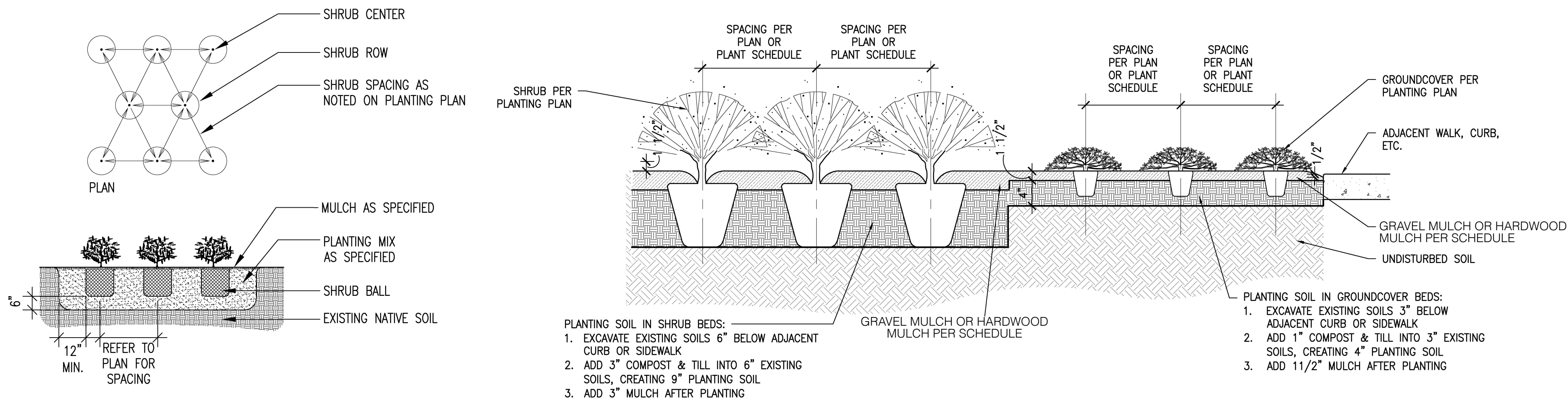


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LANDSCAPING PLAN
 project number 23069.100
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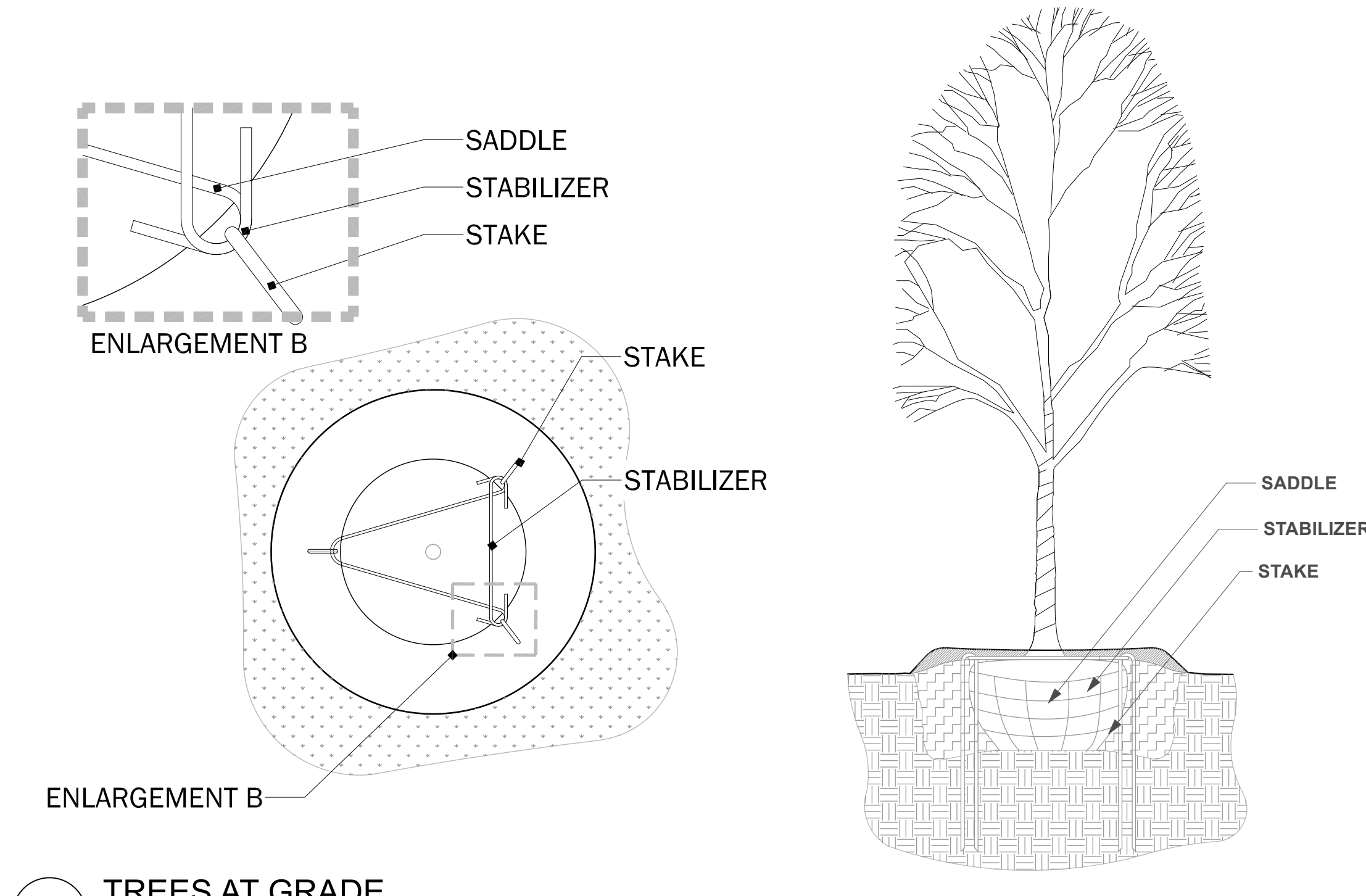
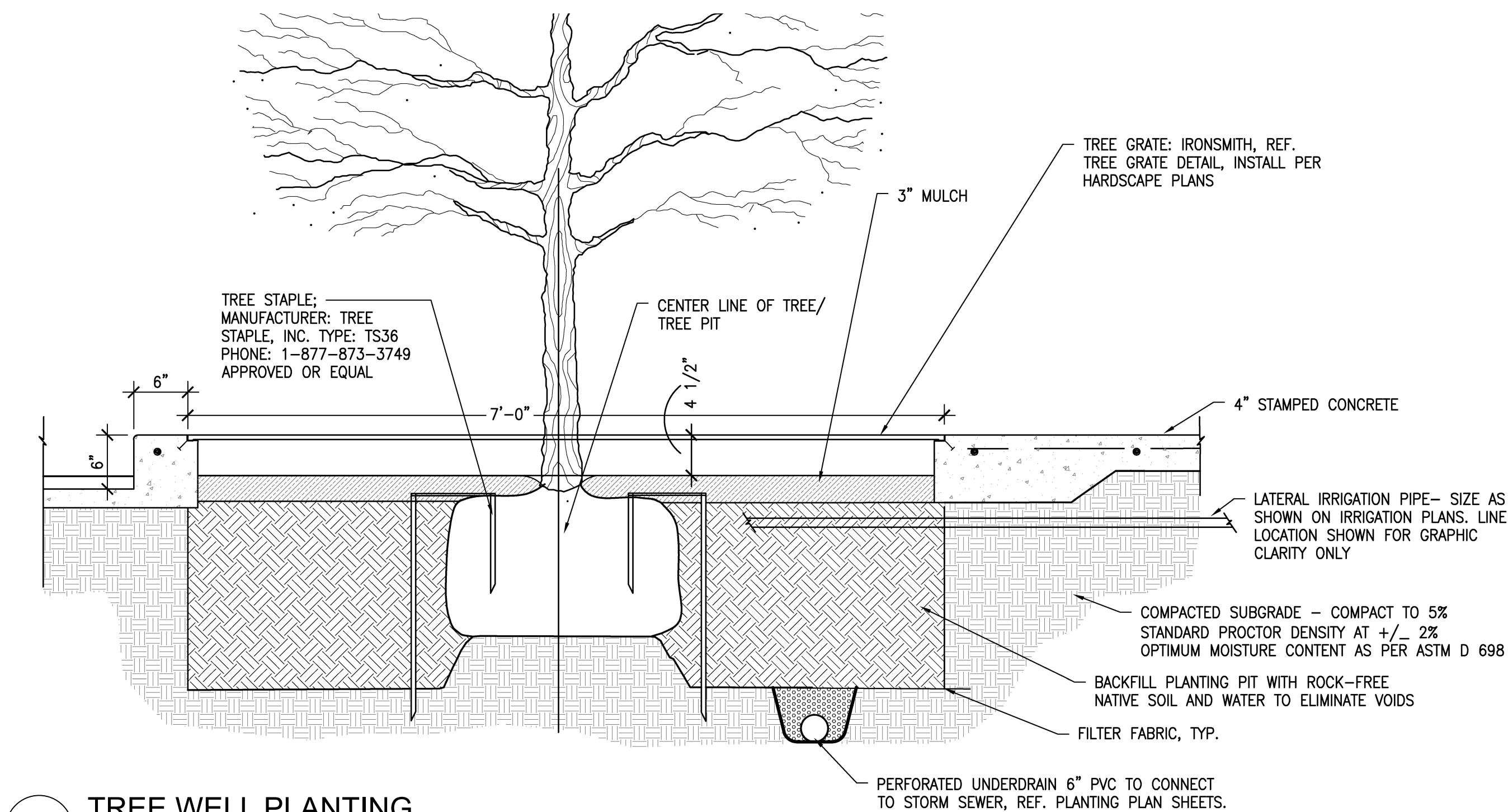


1 SHRUB AND GROUND COVER PLANTING

2 TREE ROOT BARRIER

Scale: NTS

Scale: NTS



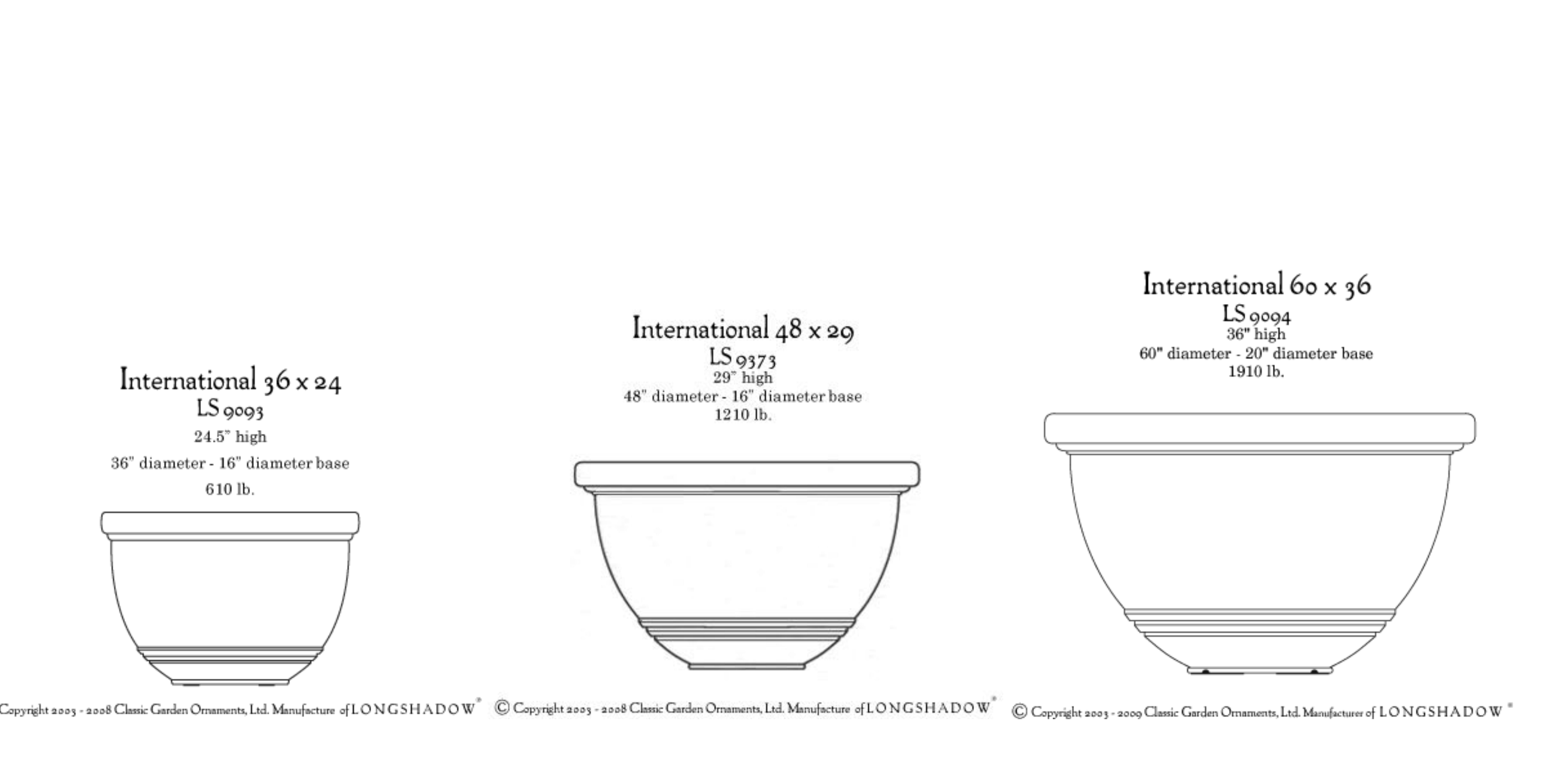
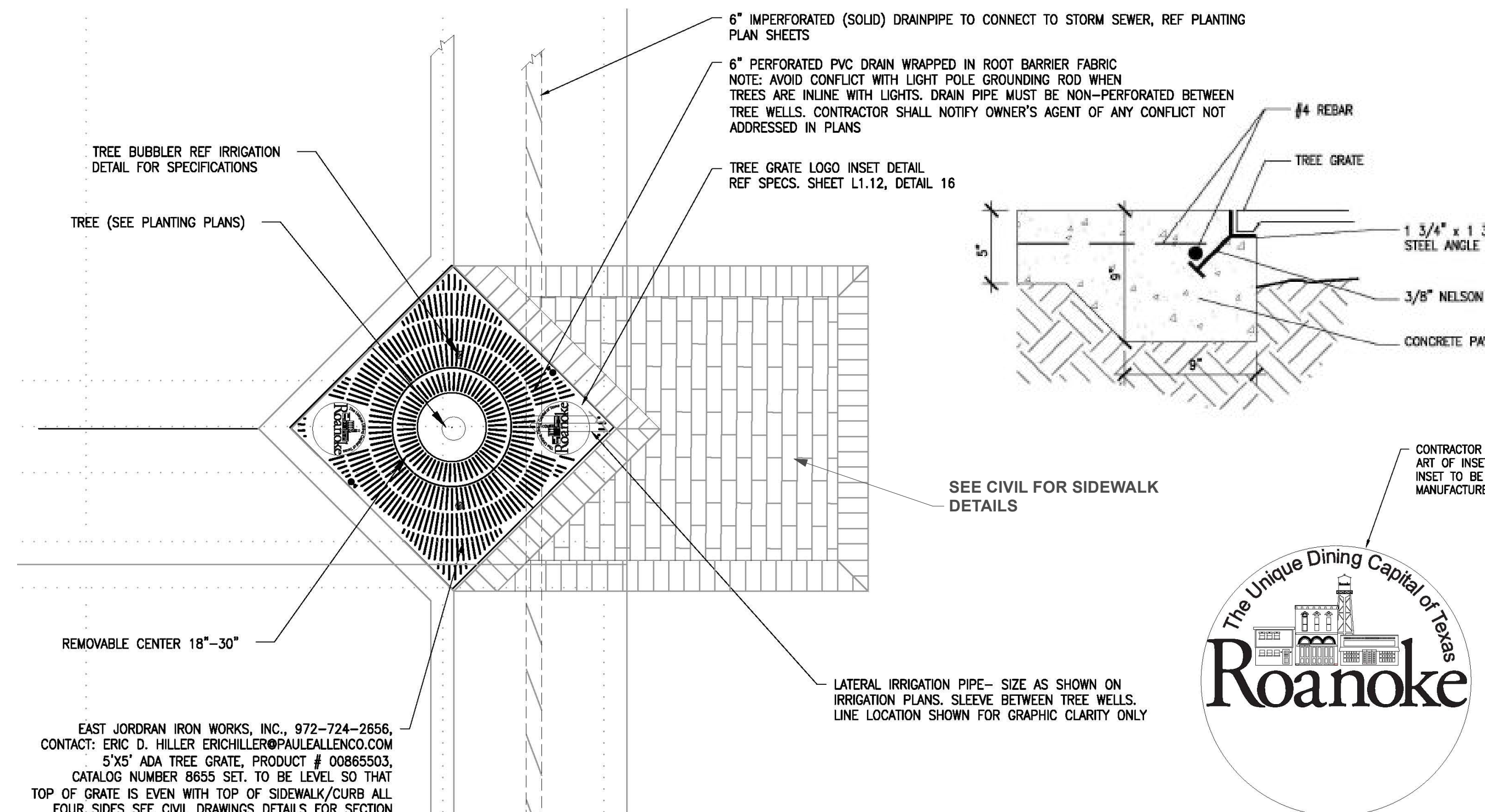
- NOTES:**
1. Details are not planting details. Should be used for GTI Stake installation only. Refer to landscape architects plans for proper planting instructions.
 2. Stakes should penetrate a minimum of 16" of undisturbed soil. (contact manufacturer for alternative planting methods. I.e. rocky and sandy soils)
 3. Tree should be plumb before staking.
 4. Drawings are intended for landscape professionals.
 5. Current detail is considered valid upon receipt of soils report, alternative staking methods are available upon request.
 6. Contact gingertreinnovations.com for product and company information.
 7. Please refer below to manufacturers guarantee for qualifying landscape projects, any project that does not meet agreed upon qualifications is null and void of all guarantee stipulations.

3 TREE WELL PLANTING

4 TREES AT GRADE

Scale: NTS

Scale: NTS



5 TREE GRATE

6 PLANTER POT TYPES

Scale: NTS

Scale: NTS



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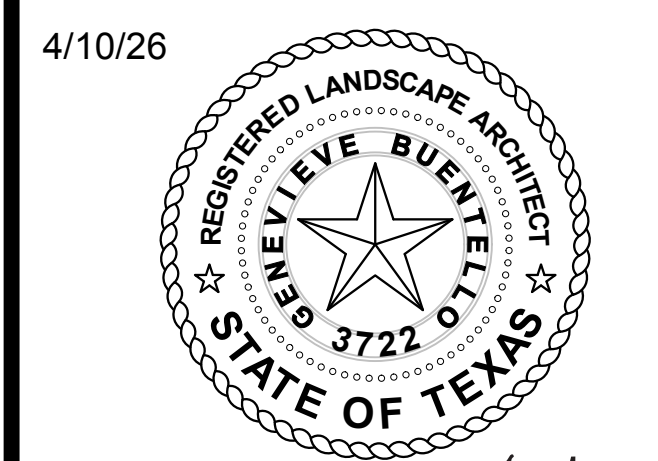
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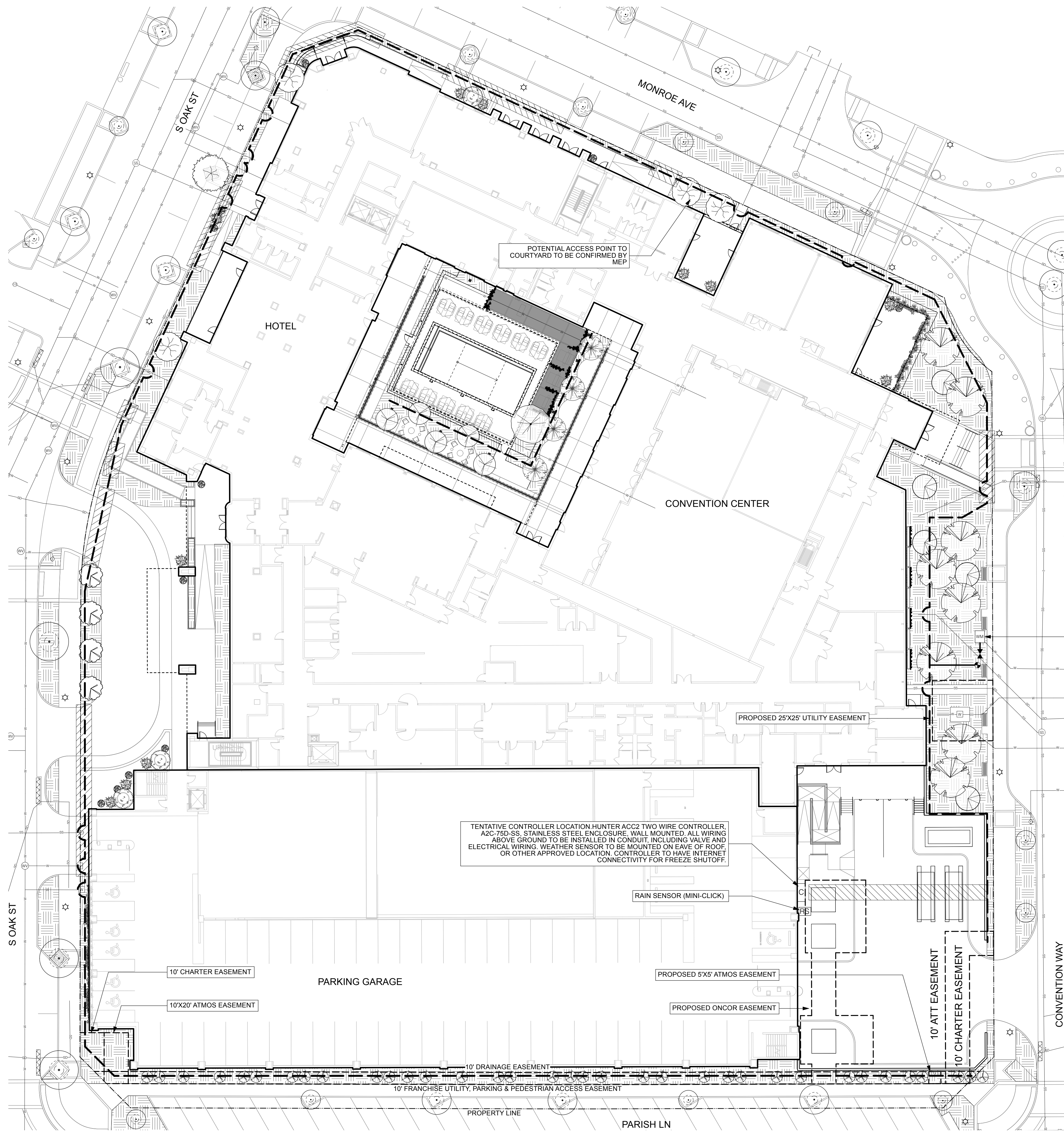
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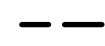


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LANDSCAPING DETAILS

project number 23069.100
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sheet

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LEGEND

-  MASTERVALVE
-  BACKFLOW
-  WATER METER (POINT OF CONNECTION)
-  CONTROLLER - FINAL LOCATION IS TO BE DETERMINED BY OWNER OR REPRESENTATIVE AFTER CONSULTING WITH PROJECT ARCHITECT
-  RAIN SENSOR (MINI-CLICK)
-  MAINLINE - USE SCH 40 PVC PIPE AS DESIGNATED ON PLANS
-  IRRIGATION SLEEVE - USE TWO (2) SIZES LARGER THAN SPRINKLER PIPE DESIGNATED FOR CROSSING PAVING. WHERE REQUIRED, VALVE WIRING MAY BE RUN IN THE SAME SLEEVES. USE SCH 40 PVC PIPE OR AS DESIGNATED ON PLANS.
-  LANDSCAPE PLANTING AREAS

GENERAL NOTES

IRRIGATION NOTES:

- ALL LANDSCAPE PLANTING PROPOSED IN THIS PLAN WILL BE IRRIGATED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM.
- ALL TREES TO BE ON BUBBLER ZONES. ALL OTHER LANDSCAPE AREAS TO BE ON DRIP TUBING ZONES.
- IRRIGATION SYSTEM WILL BE EQUIPPED WITH A RAIN AND FREEZE SENSOR CAPABLE OF SHUTTING DOWN THE SYSTEM WHEN DICTATED BY RAINFALL OR FREEZE CONDITIONS.
- PROVIDE AN EXTRA 2" SCH 40 PVC SLEEVE LOCATIONS TO ALLOW FOR ELEC. VALVE WIRING FROM CONTROLLER.
- IRRIGATION SYSTEM DESIGN WILL MEET ALL REQUIREMENTS OF THE CITY OF ROANOKE, THE TEXAS COMMISSION OF ENVIRONMENTAL QUALITY, AND ALL APPLICABLE PLUMBING CODES.
- CONTRACTOR TO CALL 811 TO LOCATE ANY UTILITIES AND UNDERGROUND STRUCTURES.

1" IRRIGATION METER (POINT OF CONNECTION)
 1" ISOLATION VALVE
 1" BACKFLOW
 1" MASTER VALVE

TENTATIVE CONTROLLER LOCATION, HUNTER ACC2 TWO WIRE CONTROLLER, A2C-75D-SS, STAINLESS STEEL ENCLOSURE, WALL MOUNTED. ALL WIRING ABOVE GROUND TO BE INSTALLED IN CONDUIT, INCLUDING VALVE AND ELECTRICAL WIRING. WEATHER SENSOR TO BE MOUNTED ON EAVE OF ROOF, OR OTHER APPROVED LOCATION. CONTROLLER TO HAVE INTERNET CONNECTIVITY FOR FREEZE SHUTOFF.



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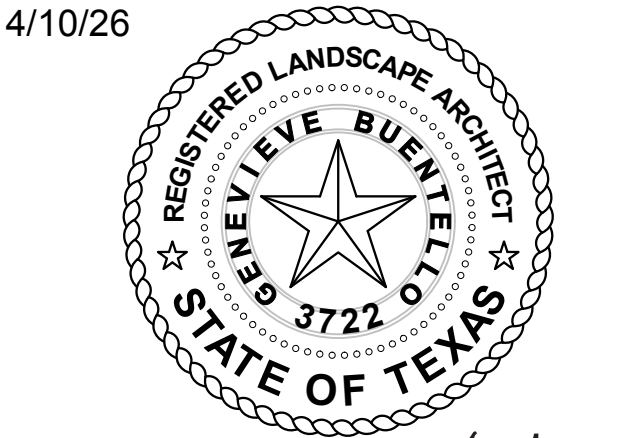
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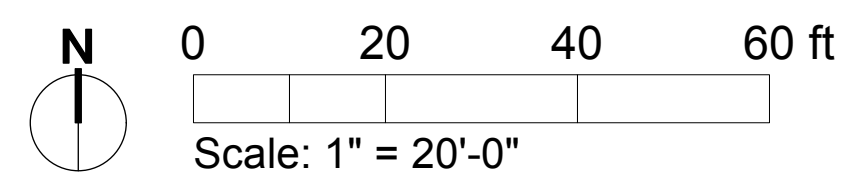
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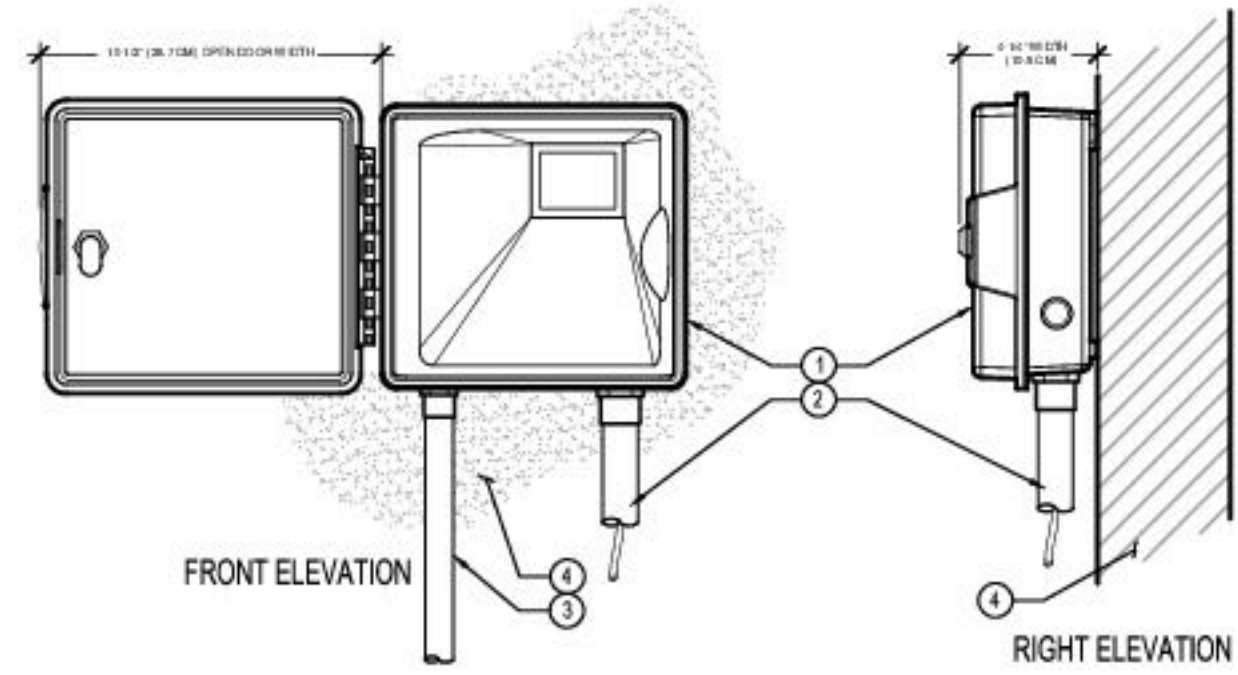


title
 IRRIGATION MAINLINE & SLEEVING DIAGRAM

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 date 4/10/2026
 sheet

SP34





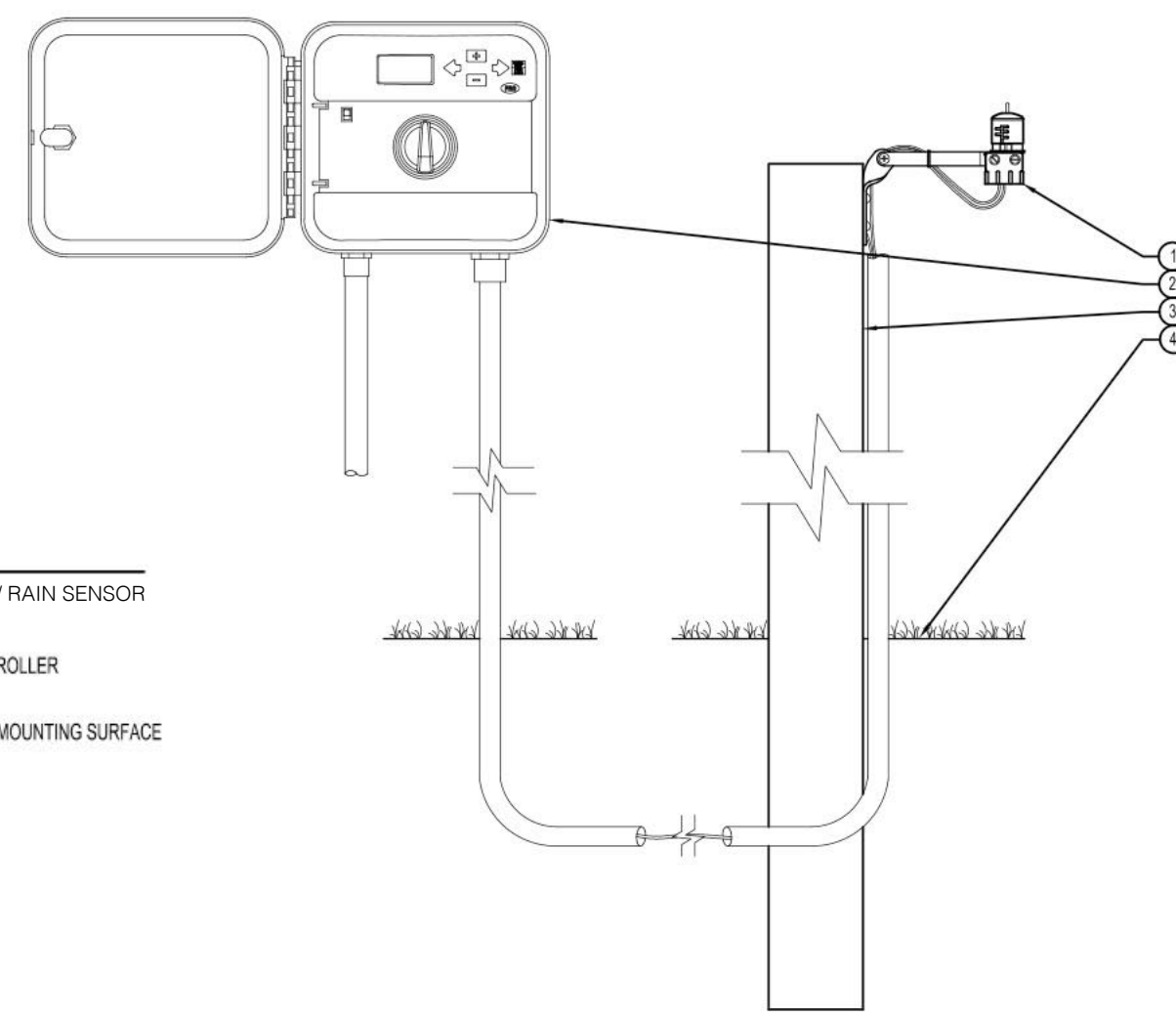
- LEGEND:**
- ① IRRIGATION CONTROLLER (PRO-HC) PER PLAN
 - ② IRRIGATION CONTROL WIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES
 - ③ ELECTRICAL SUPPLY CONDUIT CONNECT TO POWER SOURCE, J-BOX INSIDE CONTROLLER
 - ④ ADJACENT SURFACE TO MOUNT CONTROLLER PER PLAN

NOTE: MOUNT CONTROLLER LCD SCREEN AT EYE LEVEL. CONTROLLER SHALL BE HARD-WIRED TO GROUNDED 110 VAC POWER SOURCE.

NOTE: CONTROLLER IS CONNECTED TO WIFI AND USES WEATHER FORECASTING TO PROHIBIT WATERING DURING FREEZING TEMPERATURES.

1 IRRIGATION CONTROLLER

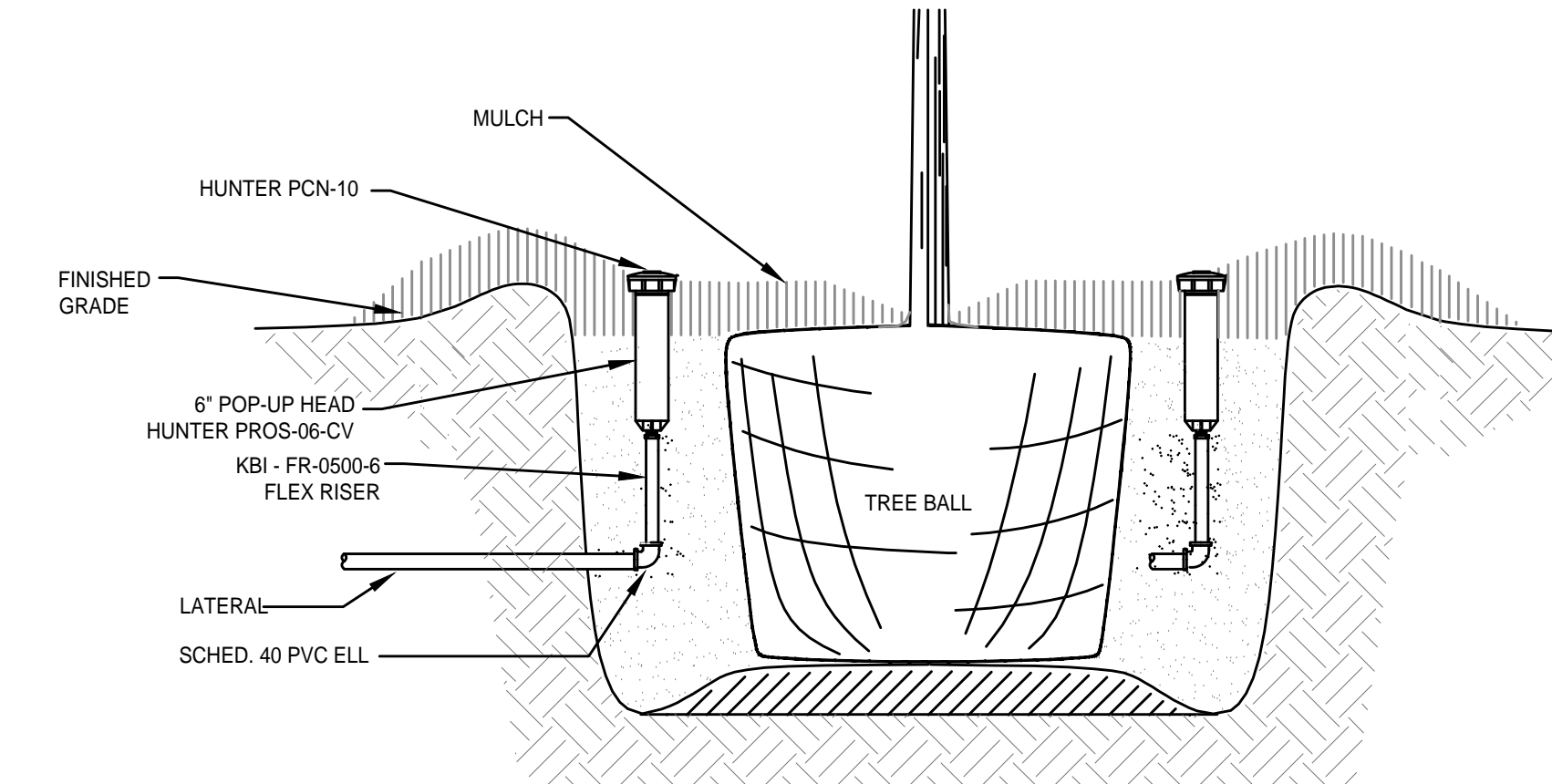
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- LEGEND:**
- ① MINI-CLICK SENSOR / RAIN SENSOR
 - ② WALL MOUNT CONTROLLER
 - ③ POST OR SUITABLE MOUNTING SURFACE
 - ④ FINISHED GRADE

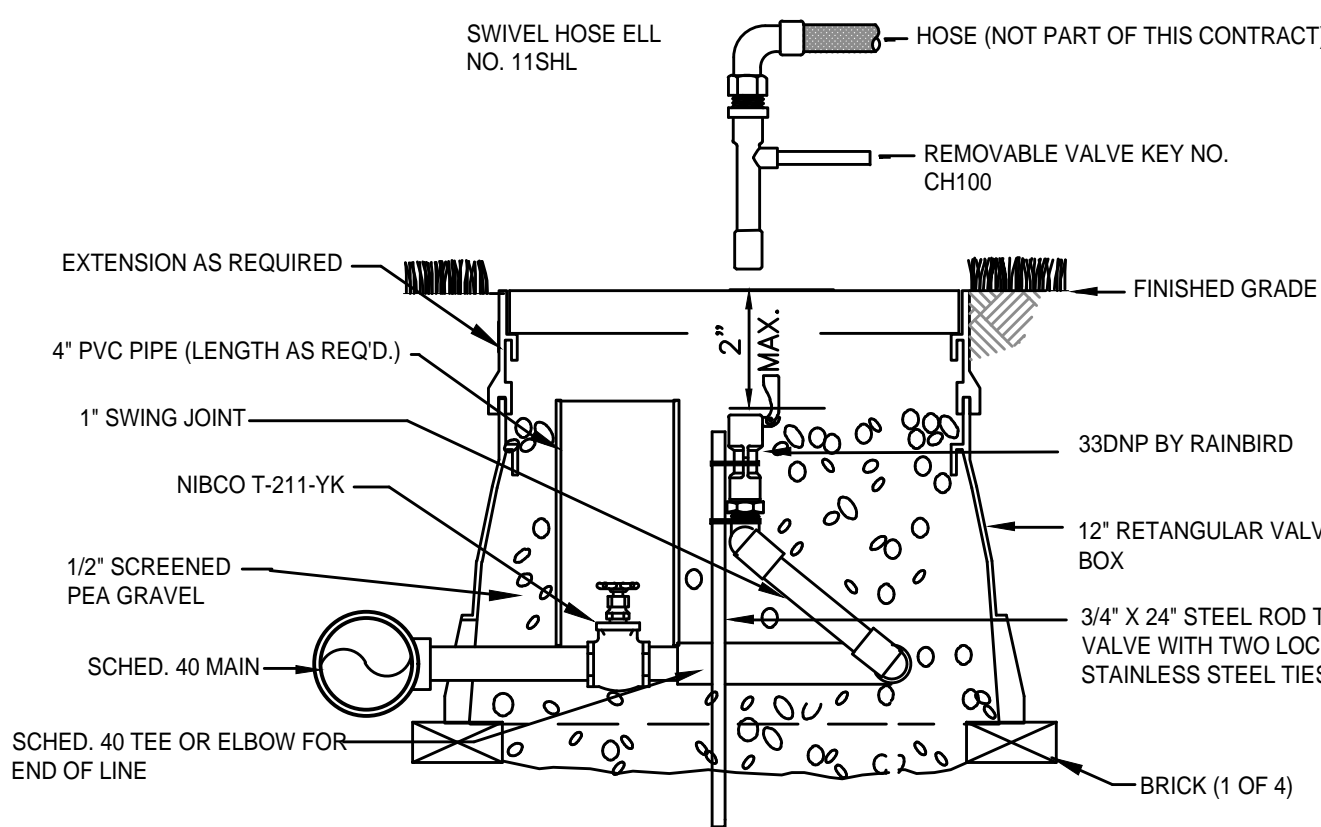
2 MINI-CLICK W/ GENERIC WALL MOUNT CONTROLLER

Scale: NTS



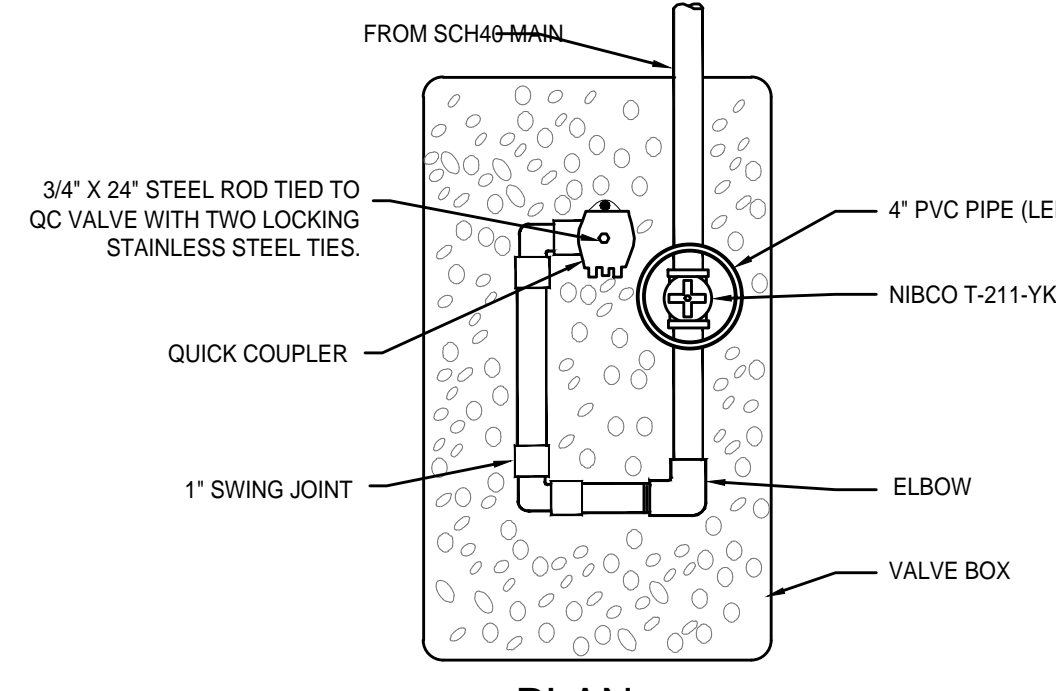
3 BUBBLERS AT TREE - SECTION

Scale: NTS



4 QUICK-COUPLING VALVE

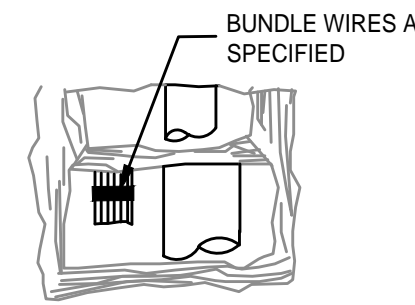
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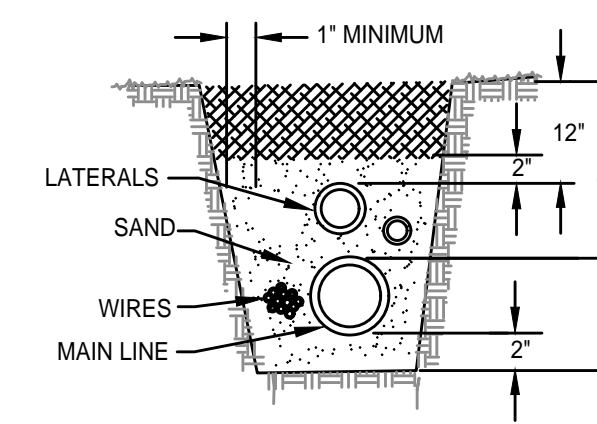
PLAN

5 STANDARD TRENCH

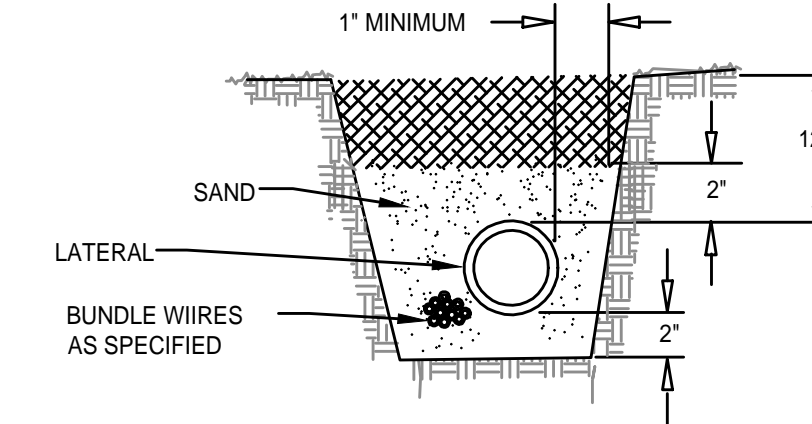
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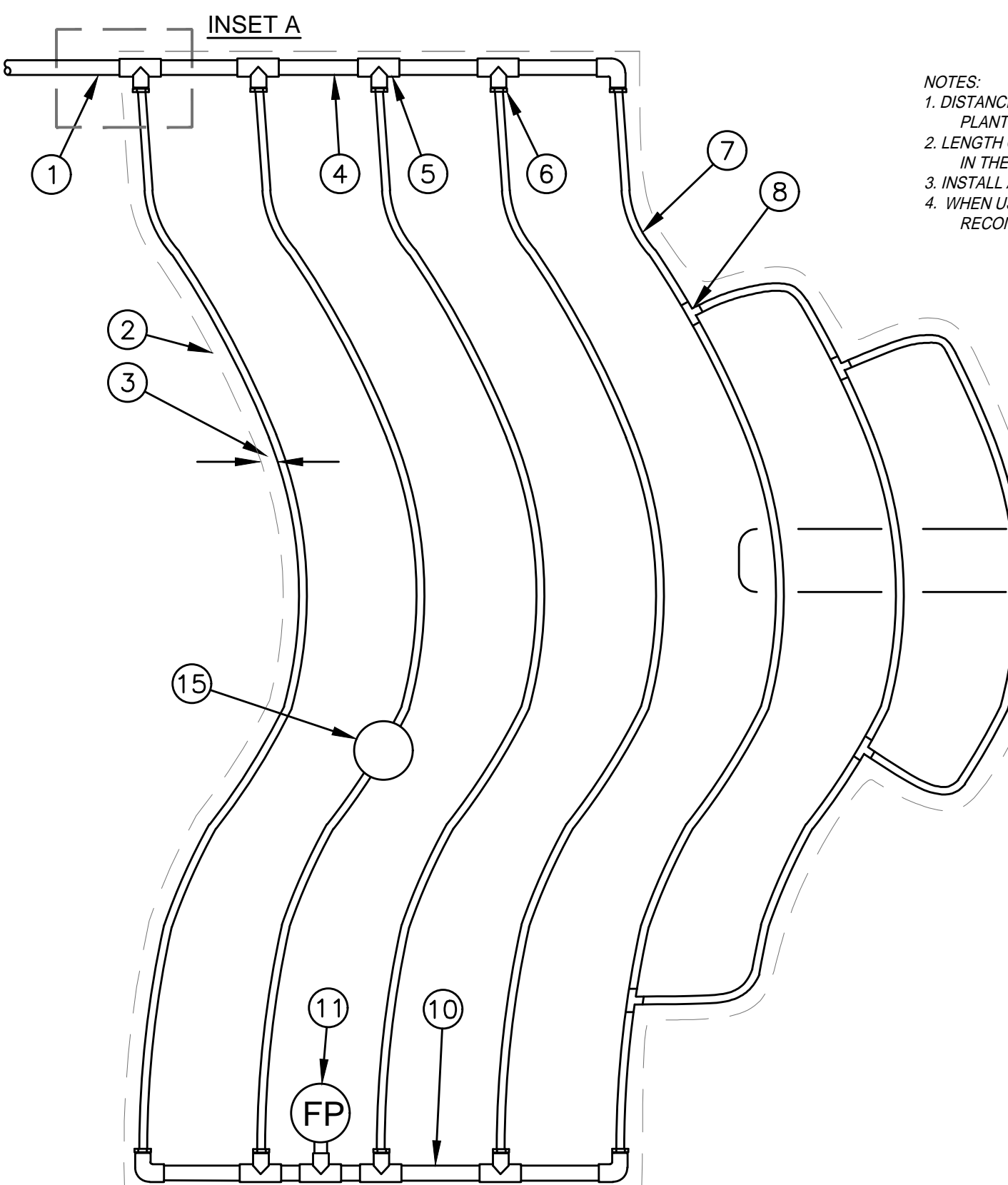
PLAN



MAIN & LATERAL SECTION



LATERAL SECTION

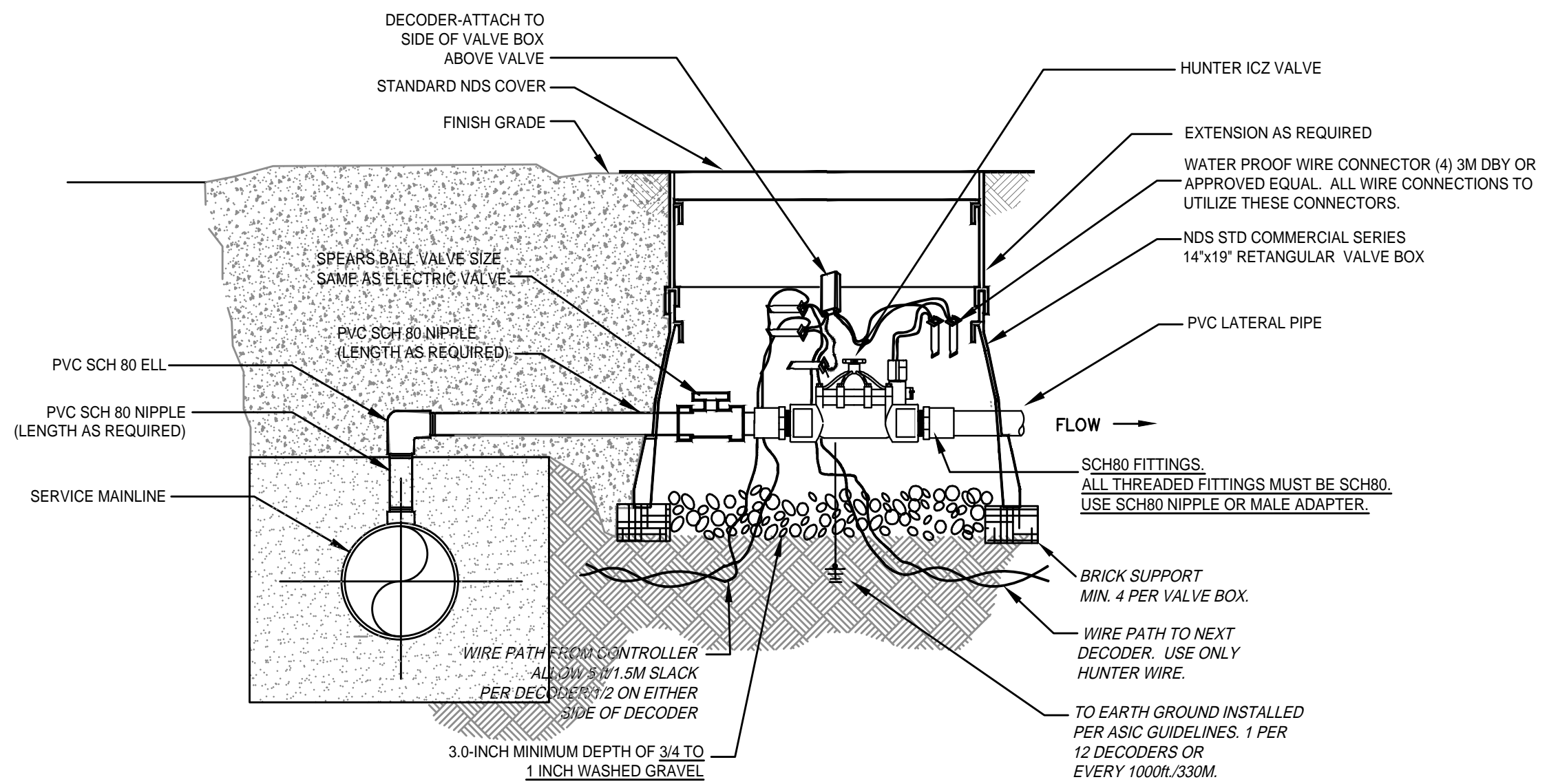


- NOTES:**
1. DISTANCE BETWEEN LATERAL ROWS AND EMITTER SPACING TO BE BASED ON SOIL TYPE, PLANT MATERIALS AND CHANGES IN ELEVATION.
 2. LENGTH OF LONGEST DRIFLINE LATERAL SHOULD NOT EXCEED THE MAXIMUM SPACING SHOWN IN THE ACCOMPANYING TABLE.
 3. INSTALL AIR RELIEF VALVE AT HIGH POINTS IN DRIP LATERAL.
 4. WHEN USING 17MM INSERT FITTINGS WITH DESIGN PRESSURE OVER 50PSI, IT IS RECOMMENDED THAT STAINLESS STEEL CLAMPS BE INSTALLED ON EACH FITTING.

- ① PVC SUPPLY PIPE FROM CONTROL ZONE KIT (SIZED TO MEET LATERAL FLOW DEMAND)
- ② PERIMETER OF AREA
- ③ PERIMETER DRIFLINE PIPE TO BE INSTALLED 2'-4" FROM PERIMETER OF AREA
- ④ PVC SUPPLY MANIFOLD
- ⑤ PVC SCH 40 TEE OR EL (TYPICAL)
- ⑥ BARB X MALE FITTING
- ⑦ SUB-SURFACE DRIFLINE: RAINBIRD XFSP 06-18, 18" LATERAL SPACING (TYPICAL)
- ⑧ BARB X BARB INSERT TEE
- ⑨ TOTAL LENGTH OF SELECTED DRIFLINE SHOULD NOT EXCEED LENGTH SHOWN IN TABLE
- ⑩ PVC FLUSH HEADER
- ⑪ AUTOMATIC FLUSH VALVE
- ⑫ PVC RISER PIPE
- ⑬ TURF OR MULCH
- ⑭ FINISH GRADE
- ⑮ 1/2" AIR RELIEF VALVE

6 DRIP ZONE IRREGULAR CURVES LAYOUT

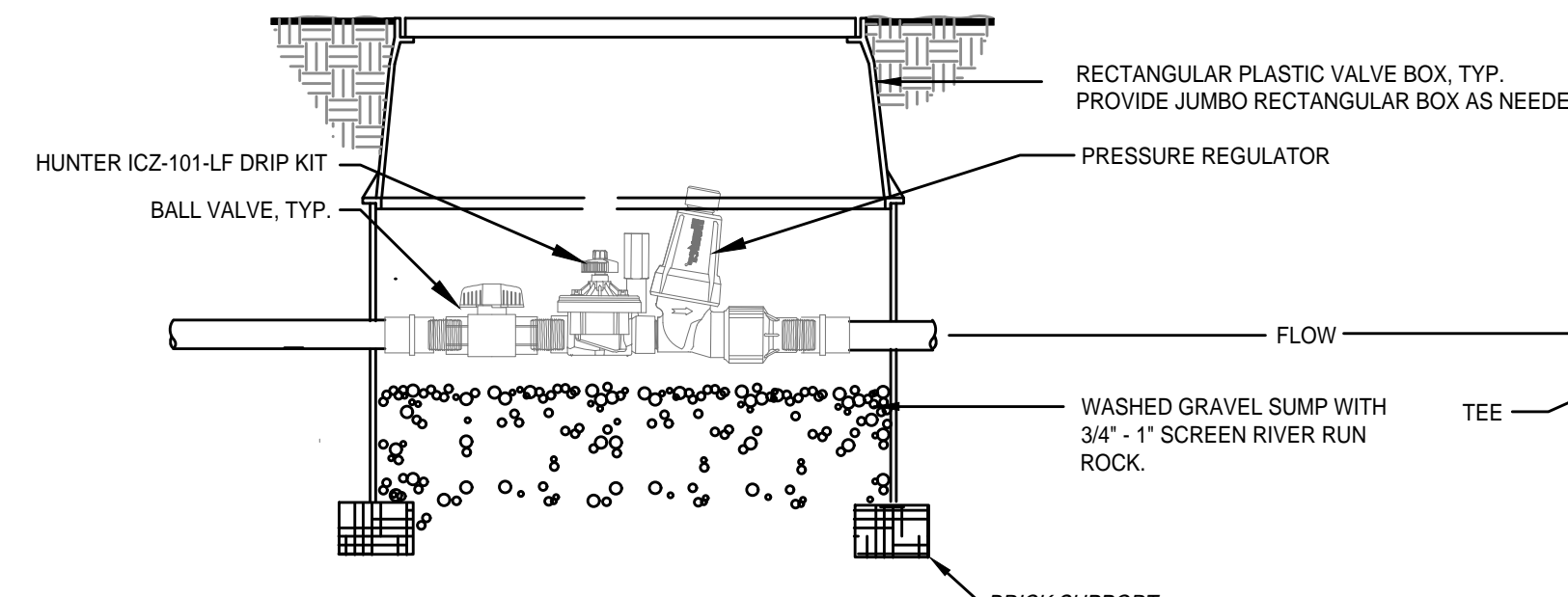
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7 ELECTRIC VALVE (TWO WIRE) DETAIL AT SERVICE LINE

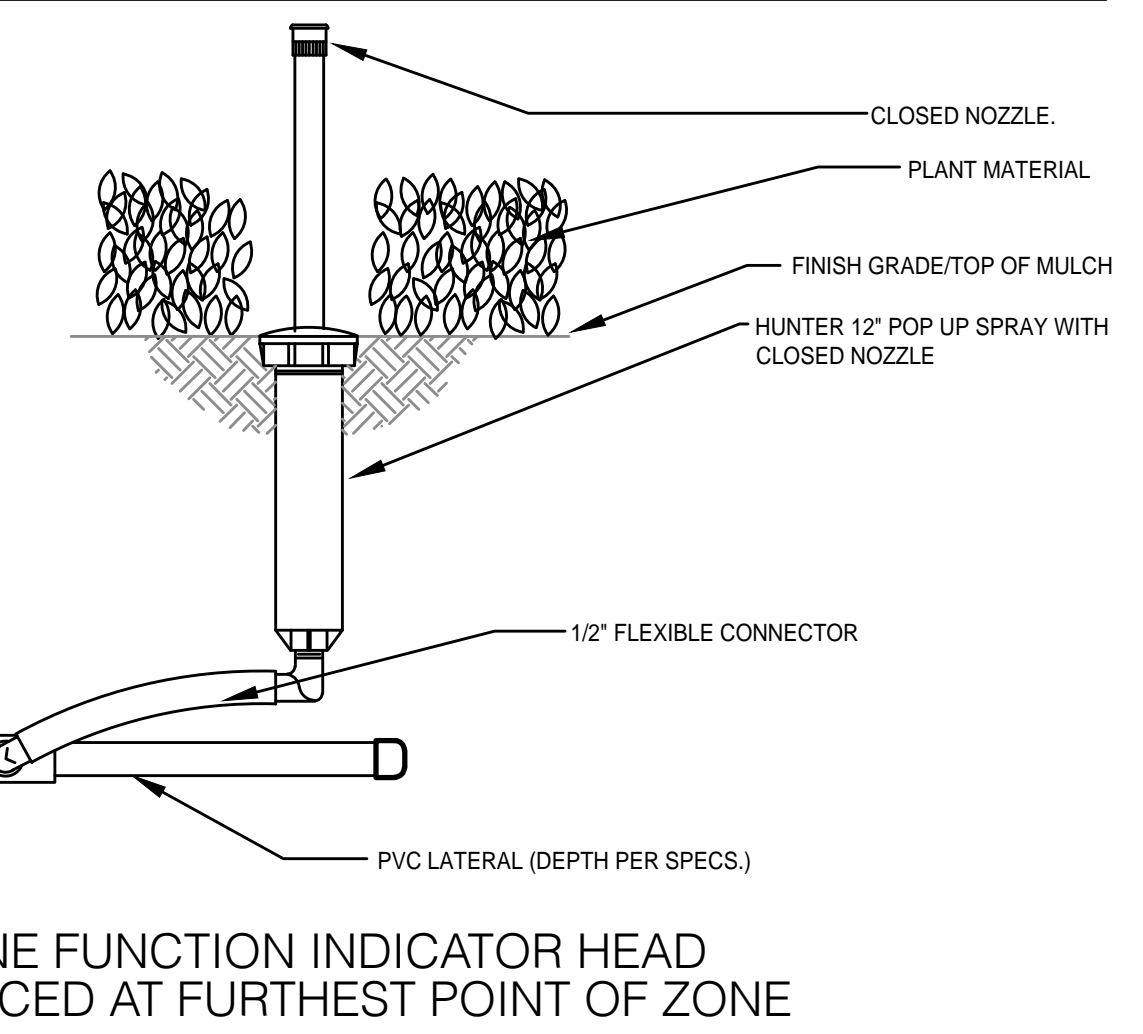
Scale: NTS

DETAIL SHOWN ONLY FOR DRIP CONTROL KIT. REFER TO REMOTE CONTROL VALVE DETAIL FOR ALL INSTALLATION REQUIREMENTS.



8 HUNTER DRIP CONTROL KIT (ICV-101-LF)

Scale: NTS



ZONE FUNCTION INDICATOR HEAD PLACED AT FURTHEST POINT OF ZONE



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April 24, 2026

Ashlie Tolliver
City of Roanoke
500 S. Oak St
Roanoke, TX 76262

**RE: Oak St Hotel Civil Plans
Plan Review**

Mrs. Tolliver:

We have reviewed the resubmitted Civil Construction Plans for the referenced development for compliance with the City of Roanoke Subdivision Ordinance and Design Standards. Based on this review, we have no further objections to approval.

Please let me know if you have any questions.
Sincerely,

TNP
Teague Nall & Perkins

Justin Baker, P.E.
Senior Project Manager



AGENDA ITEM

TO: Mayor and City Council

SUBJECT: Rezoning application on approximately 57.502-Acres of land

MEETING DATE: May 12, 2026

DEPARTMENT: Planning

ITEM SUMMARY:

Hold a public hearing and consider a city initiated rezoning application on approximately 57.502-Acres of land located in the Thomas Kelly Survey, Abstract No. 704, consisting of 36.912-Acres of land located in the Marshall Creek Addition and 20.59-Acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas, by changing the zoning on the approximately 57.502-Acres of Land from Single Family-7 District (SF-7) to Planned Development 2014-114 District with Single Family PD Uses. (ZC-2026-03).

INFORMATION:

The City of Roanoke is initiating a rezoning to rezone approximately 57.502-Acres from Single Family 7 Zoning District to Planned Development District Zoning as established by Ordinance No. 2014-114.

Background

In March 2026, the City began exploring proposing a text amendment to the Marshall Creek Planned Development Ordinance No. 2014-114 to address a discrepancy regarding lot coverage percentages. Upon preparing the ordinance for that text amendment, Staff discovered that the Planned Development Ordinance passed in 2014 did not rezone the entirety of the community as intended, but only rezoned 10 lots that front Marshall Creek Road, resulting in only 2.237 Acres of the overall neighborhood being rezoned. The GIS Zoning Map further indicated in error that the entire neighborhood had been rezoned to the PD, however the legal description located in Exhibit A of the Planned Development Ordinance confirmed that there was an error in the ordinance.

As a result of this oversight, the zoning for the properties located within the area indicated on the Map Exhibit File in red were never rezoned to be located in the Planned Development, and the current zoning is the Base Zoning District SF-7. The proposed rezoning is to correct the administrative error and allow for single-family



AGENDA ITEM

development to continue as intended in the 2014 Planned Development Ordinance in an effort to promote redevelopment of the area.

Planning & Zoning Commission Action

On May 4, 2026, the Planning & Zoning Commission held a public hearing and considered the request. A motion was made and passed to recommend approval of the request.

STAFF RECOMMENDATION:

Staff recommends approval of the request.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. Ordinance No. 2026-122 - Marshall Creek PD - 57 acres from SF -7 to PD 2014-114
2. ZC-2026-03 - Aerial GIS Map of Proposed Rezoning Boundaries
3. ORD NO 2014-114 - PD 2014-16 Marshall Creek - Original PD Ordinance
4. ZC-2026-03 - Mailed Notice Exhibit

ORDINANCE NO. 2026-122

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, FOR AN APPROXIMATELY 57.502 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY, ABSTRACT NO. 704, CONSISTING OF 36.912-ACRES OF LAND LOCATED IN THE MARSHALL CREEK ADDITION, AND 20.59- ACRES OF LAND LOCATED IN THE GREEN ACRE ESTATES 2ND ADDITION, ALL OF WHICH ARE AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT A OF THIS ORDINANCE, WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES, BY CHANGING THE ZONING ON SAID TRACT OR TRACTS FROM SINGLE FAMILY-7 (SF-7) DISTRICT TO PLANNED DEVELOPMENT DISTRICT – ORD NO 2014-114 PRESCRIBING THE PERMISSIBLE USES THEREOF; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, after public notice and public hearing as required by law, the Planning and Zoning Commission for the City of Roanoke, Texas, has recommended that the official zoning map of the City of Roanoke, Texas, be amended to reflect that the zoning on the approximately 57.502-acres of land, located in the Thomas Kelly Survey, Abstract No. 704, consisting of 36.912-acres of land located in the Marshall Creek Addition, and 20.59-acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas, and being more particularly described in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Single Family-7 District (SF-7) to Planned Development – Ordinance No. 2014-114; and

WHEREAS, the Planning and Zoning Commission of the City of Roanoke, Texas, and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, THAT:

**SECTION 1.
FINDINGS INCORPORATED**

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2.

The approximately 57.502-acres of land, located in the Thomas Kelly Survey, Abstract No. 704, consisting of 36.912-acres of land located in the Marshall Creek Addition, and 20.59-acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas, and being more particularly described and depicted in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Single Family-7 District (SF-7) to Planned Development District – Ord. No. 2014-114, with single-family residential uses.

**SECTION 3.
SEVERABILITY CLAUSE**

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

**SECTION 4.
PENALTY CLAUSE**

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

**SECTION 5.
PUBLICATION CLAUSE**

The City Secretary of the City is hereby directed to publish in the official newspaper of the City the caption, penalty clause, and effective date clause of this Ordinance as required by law.

**SECTION 6.
EFFECTIVE DATE**

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this May 12, 2026.

APPROVED:

Carl E. Gierisch, Jr., Mayor

ATTEST:

Lindsay Rawlinson, City Secretary

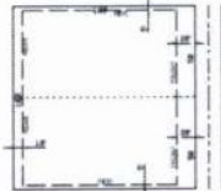
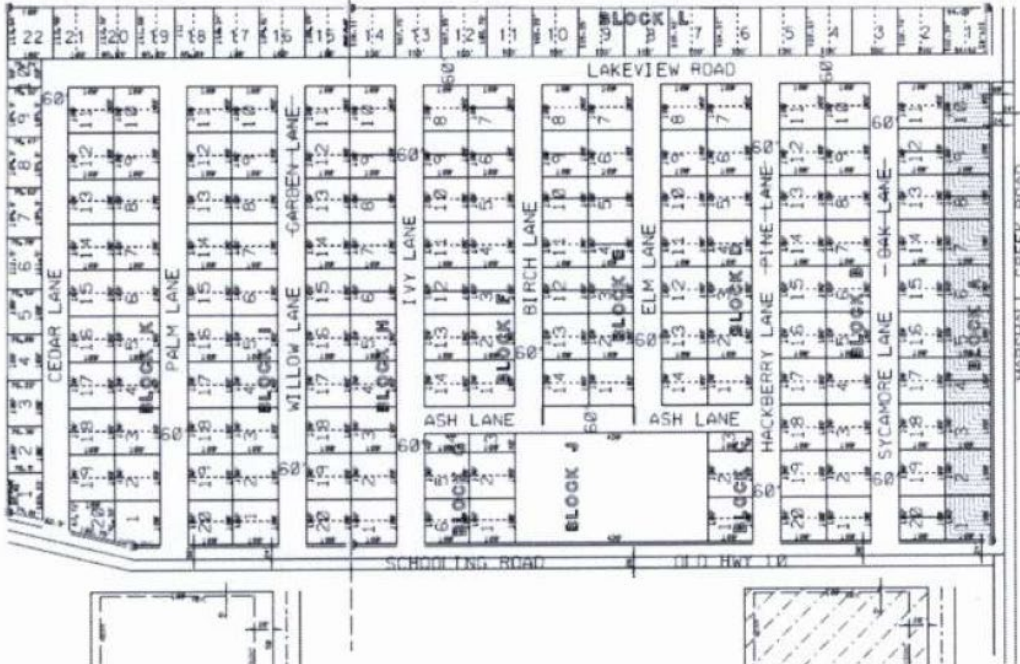
APPROVED AS TO FORM:

Jeff Moore, City Attorney

Exhibit A

**GREEN ACRE
ESTATES 2ND
SECTION A-704**

**MARSHALL CREEK
VOL/PG 610/257**



TYPICAL LOT LAYOUT

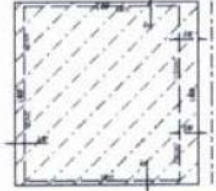
THOSE LOTS DEPICTED WITH A DASH LINE
BISECTING THE LOTS THAT ARE APPROXIMATELY
100' WIDE AND ARE 100' IN DEPTH CAN BE
SUBDIVIDED INTO TWO 50' WIDE LOTS TO
CREATE A MINIMUM OF 5000 SF LOTS

SET BACK REQUIREMENTS

FRONT - 20 FEET
SIDE - 5 FEET
REAR - 10 FEET

NO SUBDIVIDING

THOSE LOTS WITH NO DASH LINE
ARE NOT ELIGIBLE TO SUBDIVIDE



HATCHED LOT LAYOUT

THOSE LOTS SHOWN WITH HATCHING
LOTS 1-10, BLOCK "A"
ARE FOR OFFICE USE ONLY.

Legal Description of lots to be added:

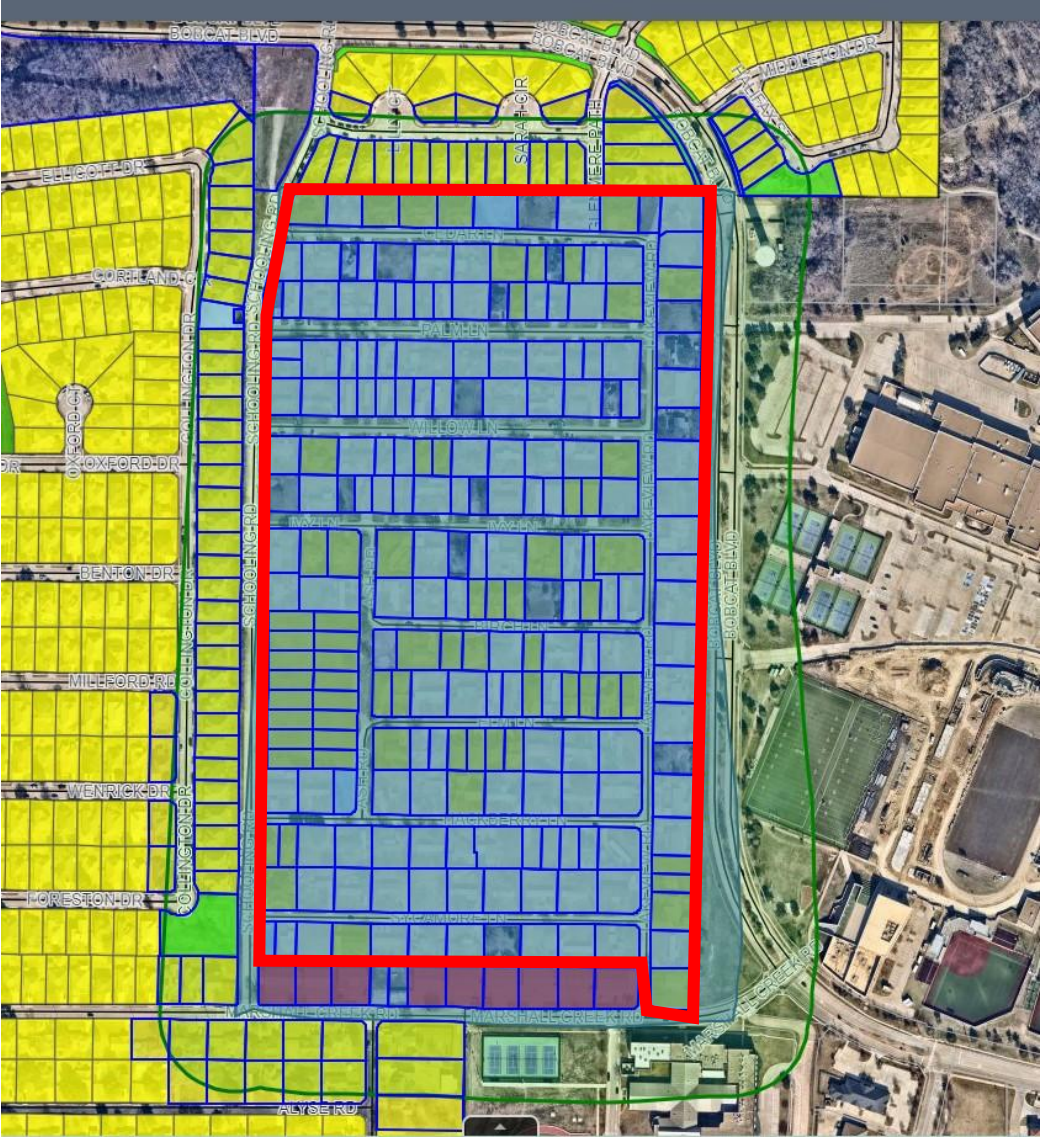
Approximately 36.912 acres of land located in the Thomas Kelly Survey Abstract No. 704 and consisting of:

- Lots 11-20, Block A, Marshall Creek Addition
- Lots 1-20R-2, Block B, Marshall Creek Addition
- Lots 1-3, Block C, Marshall Creek Addition
- Lots 1-14, Block D, Marshall Creek Addition
- Lots 1-14, Block E, Marshall Creek Addition
- Lots 1-14, Block F, Marshall Creek Addition
- Lots 1-6, Block G, Marshall Creek Addition
- Lots 1-10, Block H, Marshall Creek Addition
- Lots 1-16, Block J, Marshall Creek Addition
- Lots 1-14, Block L, Marshall Creek Addition

And approximately 20.59 Acres of land located in the Thomas Kelly Survey Abstract No. 704 and consisting of:

- Lots 11-20, Block H, Green Acre Estates 2nd Addition
- Lots 1-20, Block I, Green Acre Estates 2nd Addition,
- Lots 1-20, Block K, Green Acres Estates 2nd Addition
- Lots 1-10, Block M, Green Acre Estates 2nd Addition
- Lots 15-22, Block L, Green Acre Estates 2nd Addition

Aerial GIS Map of Proposed Rezoning Boundaries



ORDINANCE No. 2014-114

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE FOR THE CITY OF ROANOKE, TEXAS, ON APPROXIMATELY 2.237 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY, ABSTRACT NO. 704, AND CONSISTING OF LOTS 1 THROUGH 10, BLOCK A OF THE MARSHALL CREEK SUBDIVISION, AN ADDITION LOCATED WITHIN THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AND OR DEPICTED IN EXHIBIT "A" WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES, BY CHANGING THE ZONING ON THE APPROXIMATELY 2.237 ACRES TRACT OR TRACTS OF LAND FROM SINGLE FAMILY (SF-7) DISTRICT TO PLANNED DEVELOPMENT (PD) DISTRICT NO. 2014-114 (PD # 2014-16); PRESCRIBING THE PERMISSIBLE USES; PRESCRIBING THE DEVELOPMENT STANDARDS; PROVIDING A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, after public notice and public hearing as required by law, the Planning and Zoning Commission for the City of Roanoke, Texas, has recommended that the official zoning map of the City of Roanoke, Texas, be amended to reflect that the zoning on the approximately 2.237 acres of land, located within the Thomas Kelly Survey, Abstract No. 704, City of Roanoke, Denton County, Texas, and being more particularly described and depicted in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Single Family (SF-7) District to Planned Development District No. 2014-114 (PD # 2014-16), to allow single-family and office uses on said property; and

WHEREAS, the Planning and Zoning Commission of the City of Roanoke, Texas, and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS:

Section 1. FINDINGS INCORPORATED

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

Section 2.

That the approximately 2.237 acres of land, located within the Thomas Kelly Survey, Abstract No. 704, and consisting of Lots 1 through 10, Block A of the Marshall Creek subdivision, an addition located within the City of Roanoke, Denton County, Texas, and being more particularly described and depicted in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes, and presently zoned Single-Family (SF-7) District is changed to Planned Development District No. 2014-114 (PD # 2014-16), with residential and office uses, as more fully described herein.

Section 3.

That the property described in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, shall be subject to the Development Standards attached hereto as **Exhibit B** of this Ordinance, which is attached hereto and incorporated herein for all purposes.

Section 4. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

Section 5. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 6. REPEALER CLAUSE

Any provision of any prior ordinance of the City whether codified or uncodified, which are in conflict with any provision of the Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncodified, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

Section 7. EFFECTIVE DATE

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this the **24th** day of **June, 2014**.

APPROVED:



Carl E. Gierisch, Jr., Mayor

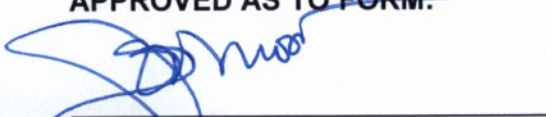


ATTEST:



April S. Hill, City Secretary

APPROVED AS TO FORM:



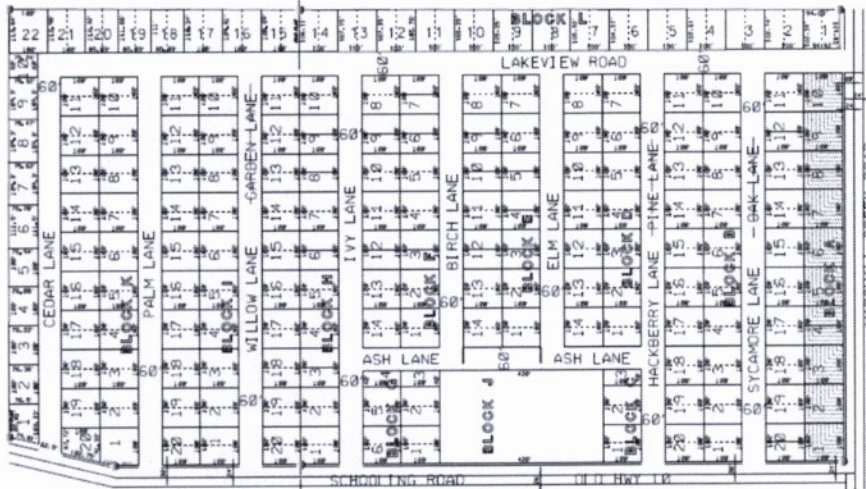
Jeff Moore, City Attorney

Exhibit A

Property Description and Depiction
of the
Approximately 2.237 Acre Tracts of Land

**GREEN ACRE
ESTATES 2ND
SECTION A-704**

**MARSHALL CREEK
VOL/PG 610/257**

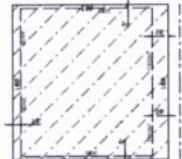


TYPICAL LOT LAYOUT

THOSE LOTS DEPICTED WITH A DASH LINE
BISECTING THE LOTS THAT ARE APPROXIMATELY
100' WIDE AND ARE 100' IN DEPTH CAN BE
SUBDIVIDED INTO TWO 50' WIDE LOTS TO
CREATE A MINIMUM OF 5000 SF LOTS

SET BACK REQUIREMENTS

FRONT - 20 FEET
SIDE - 5 FEET
REAR - 10 FEET



HATCHED LOT LAYOUT

THOSE LOTS SHOWN WITH HATCHING
LOTS 1-10, BLOCK "A"
ARE FOR OFFICE USE ONLY.

NO SUBDIVIDING

THOSE LOTS WITH NO DASH LINE
ARE NOT ELIGIBLE TO SUBDIVIDE

2.237 ACRE TRACT

**Lots 1 through 10, Block A, Marshall Creek
Thomas Kelly Survey, Abstract No. 704
City of Roanoke, Denton County, Texas**

DESCRIPTION, of a 2.237 acre tract of land situated in the Thomas Kelly Survey, Abstract No. 704, City of Roanoke, Denton County, Texas; said tract being all of Lots 1 through 10, Block A of Marshall Creek an addition to the City of Roanoke, Texas according to the plat recorded in Volume 610, Page 257, of the Plat Records of Denton County, Texas; said 2.237 acre tract being more particularly described as follows:

BEGINNING, at a point for corner at the intersection of the north line of Marshall Creek Road and the east line of Schooling Road; said point also being the southwest corner of said Lot 1;

THENCE, North 00 degrees, 10 minutes, 30 seconds West, along the said east line of Schooling Road, a distance of 100.00 feet to the northwest corner of said Lot 1;

THENCE North 89 degrees, 54 minutes, 22 seconds East, departing the said east line of Schooling Road and along the north line of said Lots 1 through 10, a distance of 1,000.00 feet to a point for corner at the northeast corner of said Lot 10, said point also being in the west line of Lakeview Drive (a 60-foot right-of-way);

THENCE, South 00 degrees, 10 minutes, 30 seconds East, along the said west line of Lakeview Drive, a distance of 94.92 feet to the southeast corner of said Lot 10; said point also being at the intersection of the said west line of Lakeview Drive and the said north line of Marshall Creek Boulevard;

THENCE South 89 degrees, 36 minutes, 54 seconds West, along the said north line of Marshall Creek Boulevard and along the south line of said Lots 1 through 10, a distance of 1,000.01 feet to the POINT OF BEGINNING;

CONTAINING: 97,460 square feet or 2.237 acres of land, more or less.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Exhibit B

Development Standards

A. DEVELOPMENT STANDARDS:

1. Same as Article 7, of the Comprehensive Zoning Ordinance.

B. ZONING DISTRICTS:

1. Single Family Housing (PD-SF)

(a) General Purpose and Description

This Planned Development district is intended to provide for planned residential development of detached, single-family residences on smaller and more compact lots of not less than 5,000 square feet in size

(b) Permitted Uses

Those listed for the SF-7 district in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as "P" or "S" are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article V of the City of Roanoke Comprehensive Zoning Ordinance.

(c) Height Regulations

(1) Maximum Height

- (A) Two and one-half (2 ½) stories, or thirty-five feet (35') for any building/house.
- (B) One story, or sixteen (16') for other accessory buildings, including detached garages, garden shed, gazebo, etc.
- (C) Other requirements (see article VII, City of Roanoke Comprehensive Zoning Ordinance)

(d) Area Regulations

(1) Size of Lot/Tract

- (A) Minimum Lot/Tract Area. Five Thousand (5,000) square feet per approved plat.
- (B) Minimum Lot/Tract Width. Fifty feet (50') per approved

plat.

- (C) Minimum Lot/Tract Depth. One hundred feet (100') per approved plat.

(2) Size of Yards

- (A) Minimum Front Yard. Twenty feet (20') per approved plat.
- (B) Minimum Side Yard. Five feet (5') per approved plat.
 - (i) There shall be a minimum side yard setback of five feet (5') on the street side of all corner lots; except those corner lots along the side of the street that other lots may front onto, shall be a minimum side yard setback of twenty feet (20').
- (C) Minimum Rear Yard. Ten feet (10') per approved site plan.

2. Office (PD-O)

(a) General Purpose and Description

The PD-O, Office, District is established to create an appropriate setting for low intensity office and professional uses. This District may be located in close proximity to residential districts. Permitted uses should be compatible with adjacent residential areas by limiting heights to three (3) stories, and shall not include uses that create excessive amounts of traffic, noise, trash or late-night business operations. Traffic generated by uses in this District shall not be encouraged to travel through residential areas. Adaptive reuse of existing structures is encouraged. Buildings in this district should be compatible and similar in scale with residential uses and adjacent property.

(b) Permitted Uses

Those uses listed for the O District in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as "P" or "S" are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article VI, the following uses are also permitted in Article V of the City of Roanoke Comprehensive Zoning Ordinance.



City of Roanoke
Notice of Public Hearing
Zoning Amendment



NOTICE OF PUBLIC HEARINGS
ZONING AMENDMENT

«name»
«addrDeliveryLine»
«addrFreeForm3»

Roanoke Planning & Zoning Commission
ZC-2026-03

THE ROANOKE PLANNING AND ZONING COMMISSION WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 4 2026, TO CONSIDER A CITY INITIATED REZONING OF APPROXIMATELY 36.912 ACRES LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, BY CHANGING THE ZONING FROM SF-7 ZONING DISTRICT TO PLANNED DEVELOPMENT ESTABLISHED BY ORDINANCE NO. 2014-114 (MARSHALL CREEK PD). **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Additional Information: This is a technical correction. Due to an oversight, these properties were not included in the establishment of the Planned Development in 2014 as intended.

ZTA-2026-04

THE ROANOKE PLANNING AND ZONING COMMISSION WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 4, 2026, TO CONSIDER AMENDING PLANNED DEVELOPMENT DISTRICT ORDINANCE NO. 2014-114, AND THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, BY ADDING A MAXIMUM LOT/TRACT COVERAGE OF 50% FOR SINGLE FAMILY DEVELOPMENT FOR AN APPROXIMATELY 39.149 ACRES OF LAND CONSISTING OF LOTS 1-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS,. **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Roanoke City Council
ZC-2026-03

THE ROANOKE CITY COUNCIL WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 12 2026, AND CONSIDER A CITY INITIATED REZONING OF APPROXIMATELY 36.912 ACRES LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK

F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLEY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, BY CHANGING THE ZONING FROM SF-7 ZONING DISTRICT TO PLANNED DEVELOPMENT ESTABLISHED BY ORDINANCE NO. 2014-114 (PD-2014-#16). **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Additional Information: This is a technical correction. Due to an oversight, these properties were not included in the establishment of the Planned Development in 2014 as intended.

ZTA-2026-04

THE **ROANOKE CITY COUNCIL WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 12, 2026**, TO CONSIDER AMENDING PLANNED DEVELOPMENT DISTRICT ORDINANCE NO. 2014-114, AND THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, BY ADDING A MAXIMUM LOT/TRACT COVERAGE OF 50% FOR SINGLE FAMILY DEVELOPMENT FOR AN APPROXIMATELY 39.149 ACRES OF LAND CONSISTING OF LOTS 1-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLEY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS,. **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

PROCEDURE:

A maximum of three (3) minutes will be allocated to the applicant and those favoring the issue of the public hearing. The applicant may reserve any portion of the allotted three (3) minutes for a rebuttal presentation following the opposition.

A maximum of three (3) minutes will also be allocated to those in opposition to the issue of the public hearing.

TO SURROUNDING LAND OWNERS:

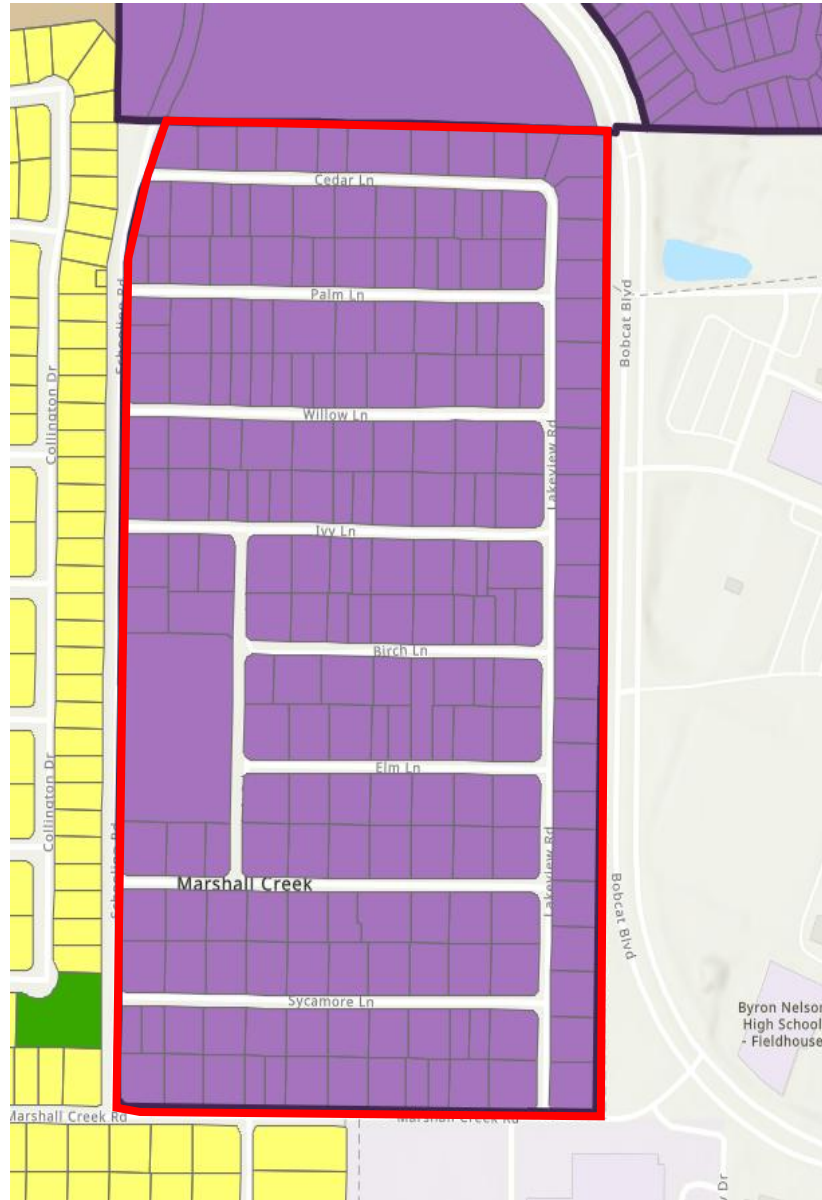
There is a property location map on page 3 of this notice. Property owners within 200'(ft.) of the tract(s) receive written notification of the request. All interested property owners are encouraged to attend this hearing. **Persons wishing their opinion to be part of the record, and who are unable to attend, may send a written reply prior to the date of the hearing to:** The City of Roanoke, 500 South Oak Street, Roanoke, TX 76262 Attn: Ashlie Tolliver, City Planner, or email it to atolliver@roanoketexas.com

FOR FURTHER INFORMATION: Please contact Ashlie Tolliver, AICP, City Planner at (682) 549-1374. Please reference the number on the bottom of Page 1 of this notice.

Enclosed – A map showing the boundary of properties impacted by ZC-2026-03 and ZTA-2025-03

PROPERTY LOCATION MAP (AREA BOUNDARY OUTLINED IN RED)

PROPERTY BOUNDARIES IMPACTED:





AGENDA ITEM

TO: Mayor and City Council

SUBJECT: City initiated text amendment, amending Planned Development Ordinance No. 2014-114

MEETING DATE: May 12, 2026

DEPARTMENT: Planning

ITEM SUMMARY:

Hold a public hearing and consider a City initiated text amendment, amending Planned Development Ordinance No. 2014-114, and the Comprehensive Zoning Ordinance of the City of Roanoke, Texas, by adding a maximum lot/tract coverage of 50% for an approximately 57.502-Acres of land located in the Thomas Kelley Survey, Abstract No. 704, consisting of 36.912-Acres of land located in the Marshall Creek Addition, and 20.59-Acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas. (ZTA-2026-04)

INFORMATION:

The City of Roanoke is proposing a text amendment to the Marshall Creek Planned Development Ordinance No. 2014-114 to allow an increase in maximum lot coverage from 35% lot coverage to 50% lot coverage to further promote redevelopment of the area.

Background

The Planned Development Ordinance was established in 2014. The PD established development standards that would encourage redevelopment of the Marshall Creek neighborhood, as shown in the attached Zoning Map Exhibit.

Planned Development Zoning is based on a base-zoning district. In this case, PD 2014-114 allows for both Office Use development and Single-Family Development. The base zoning standards that generally would apply are the SF-7 District standards.

The intent of the Single Family Housing section of PD 2014-114 is to provide for development of single-family residences on smaller and more compact lots of a minimum of 5,000 square feet. The original Planned Development Ordinance failed to regulate the lot coverage, and based on the planned development standards, staff believes this was an oversight. Lot Coverage is the area covered by a foundation and a



AGENDA ITEM

roof on a lot. Lot coverage only first floor coverage, as subsequent stories do not further increase the impact of foundation and roof coverage on a lot.

A lot zoned SF-7 is permitted up to 35% lot coverage. The minimum lot size in SF-7 is 7,200 square feet, which means a 7,200 square foot property could have a first floor building footprint of up to 2,520 square feet. Currently, the PD does not address lot coverage, which means that the base zoning standard of 35% of the total lot size is permitted for Single-Family development. This means that a 5,000 square foot lot located in the Planned Development can currently have up to 1,750 square feet of lot coverage.

The Planned Development allows for development on 5,000 square foot lots, and proportionally reduces the setback requirements based on the reduced lot size standard. Permitting a maximum lot coverage of 50% is reasonable, as this is the standard permitted in Old Town Roanoke for 5,000 square foot lots.

Base Zoning SF-7 Standards vs. PD Single Family Standards:

Development Standard	SF-7 Base Zoning	PD Zoning
Maximum Height	2 ½ stories OR 35 feet	2 ½ stories OR 35 feet
Minimum Lot Size	7,200 Square Feet	5,000 Square Feet
Minimum Front Yard Setback	25 feet	20 feet
Minimum Side Yard Setback	7.5 feet	5 feet
Minimum Rear Yard Setback	25 feet	10 feet



AGENDA ITEM

Maximum Lot Coverage	35% or 2,520 square feet	<i>50% Proposed or 2,500 square feet</i>
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Planning & Zoning Commission

On May 4, 2026, the Planning & Zoning Commission held a public hearing and considered the request. A motion and vote took place to recommend approval of the request.

STAFF RECOMMENDATION:

Staff recommends approval of the request.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. Ordinance No. 2026-123 - MARSHALL CREEK - LOT COVERAGE AMENDMENT
2. ZTA-2026-04 - Map
3. ORD NO 2014-114 - Rezone - PD 2014-16 Marshall Creek
4. MAILED NOTICE

ORDINANCE NO. 2026-123

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY AMENDING PLANNED DEVELOPMENT DISTRICT (PD-2014-114) BY AMENDING PLANNED DEVELOPMENT STANDARDS BY ESTABLISHING A MAXIMUM LOT/TRACT COVERAGE OF FIFTY PERCENT (50%) BY MAIN BUILDINGS AND ACCESSORY BUILDINGS FOR AN APPROXIMATELY 57.502 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY, ABSTRACT NO. 704, CONSISTING OF 36.912-ACRES OF LAND LOCATED IN THE MARSHALL CREEK ADDITION, AND 20.59- ACRES OF LAND LOCATED IN THE GREEN ACRE ESTATES 2ND ADDITION, ALL OF WHICH ARE AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED AND DEPICTED IN EXHIBIT A OF THIS ORDINANCE, WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A PENALTY FOR VIOLATIONS; PROVIDING FOR PUBLICATION IN THE OFFICIAL NEWSPAPER; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 12.124(b) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, “[f]or requests involving proposed changes to the text of the Zoning Ordinance, notice of the Planning and Zoning Commission hearing shall be accomplished by publishing the purpose, time and place of the public hearing in the official newspaper of the City before the fifteenth (15th) calendar day prior to the date of the public hearing. Changes in the Ordinance text which do not change zoning district boundaries do not require written notification to individual property owners;” and

WHEREAS, Section 12.127(c) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, “[n]otice of the City Council public hearing for a zoning, rezoning or Zoning Ordinance text amendment request shall be given in the same manner as that for the public hearing before the Planning and Zoning Commission as required in Section 12.124;” and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of Roanoke, Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, THAT:

**SECTION 1.
FINDINGS INCORPORATED**

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

SECTION 2.

The Comprehensive Zoning Ordinance of the City of Roanoke, Texas, is hereby amended by amending Ordinance Number 2014-114, approved by the City Council of the City of Roanoke, Texas, on June 24, 2014, for an approximately 57.502-acres of land, located in the Thomas Kelly Survey, Abstract No. 704, consisting of 36.912-acres of land located in the Marshall Creek Addition, and 20.59-acres of land located in the Green Acre Estates 2nd Addition, all of which are an addition to the City of Roanoke, Denton County, Texas, and being more particularly described in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, by adding a Subsection B.1.(d)(1)(D), entitled "Maximum Lot/Tract Coverage" which shall read as follows:

"(D) Maximum Lot/Tract Coverage: Fifty percent (50%) by main buildings and accessory buildings."

**SECTION 3.
SEVERABILITY CLAUSE**

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

**SECTION 4.
PENALTY CLAUSE**

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

**SECTION 5.
PUBLICATION CLAUSE**

The City Secretary of the City is hereby directed to publish in the official newspaper of the City the caption, penalty clause, and effective date clause of this Ordinance as required by law.

**SECTION 6.
EFFECTIVE DATE**

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this May 12, 2026.

APPROVED:

Carl E. Gierisch, Jr., Mayor

ATTEST:

Lindsay Rawlinson, City Secretary

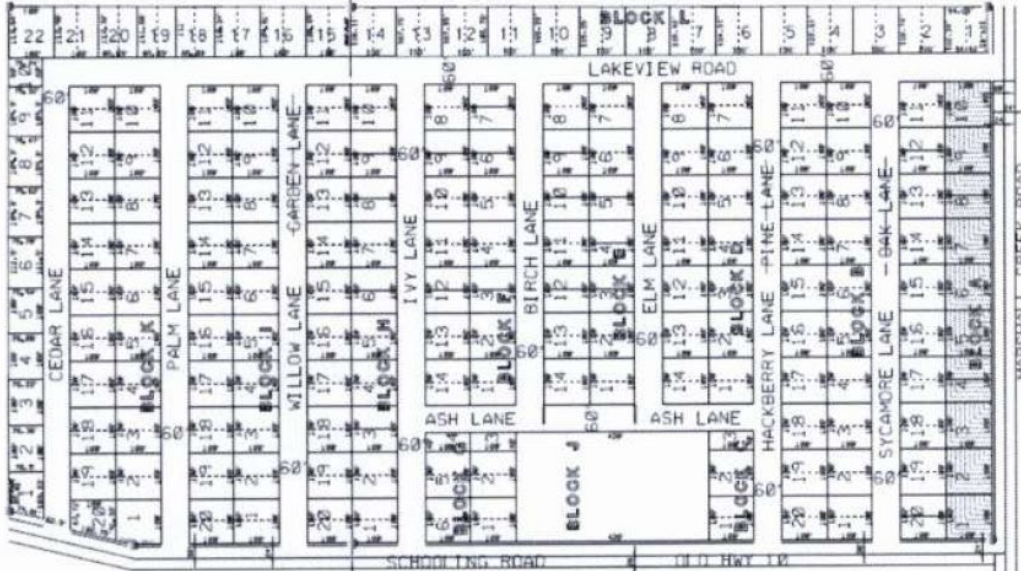
APPROVED AS TO FORM:

Jeff Moore, City Attorney

Exhibit A

GREEN ACRE
ESTATES 2ND
SECTION A-704

MARSHALL CREEK
VOL/PG 610/257



TYPICAL LOT LAYOUT

THOSE LOTS DEPICTED WITH A DASH LINE
BISECTING THE LOTS THAT ARE APPROXIMATELY
100' WIDE AND ARE 100' IN DEPTH CAN BE
SUBDIVIDED INTO TWO 50' WIDE LOTS TO
CREATE A MINIMUM OF 5000 SF LOTS

SET BACK REQUIREMENTS

FRONT - 20 FEET
SIDE - 5 FEET
REAR - 10 FEET

NO SUBDIVIDING

THOSE LOTS WITH NO DASH LINE
ARE NOT ELIGIBLE TO SUBDIVIDE



HATCHED LOT LAYOUT

THOSE LOTS SHOWN WITH HATCHING
LOTS 1-10, BLOCK "A"
ARE FOR OFFICE USE ONLY.

Legal Description of lots to be added:

Approximately 36.912 acres of land located in the Thomas Kelly Survey Abstract No. 704 and consisting of:

Lots 11-20, Block A, Marshall Creek Addition
Lots 1-20R-2, Block B, Marshall Creek Addition
Lots 1-3, Block C, Marshall Creek Addition
Lots 1-14, Block D, Marshall Creek Addition
Lots 1-14, Block E, Marshall Creek Addition
Lots 1-14, Block F, Marshall Creek Addition
Lots 1-6, Block G, Marshall Creek Addition
Lots 1-10, Block H, Marshall Creek Addition
Lots 1-16, Block J, Marshall Creek Addition
Lots 1-14, Block L, Marshall Creek Addition

And approximately 20.59 Acres of land located in the Thomas Kelly Survey Abstract No. 704 and consisting of:

Lots 11-20, Block H, Green Acre Estates 2nd Addition
Lots 1-20, Block I, Green Acre Estates 2nd Addition,
Lots 1-20, Block K, Green Acres Estates 2nd Addition
Lots 1-10, Block M, Green Acre Estates 2nd Addition
Lots 15-22, Block L, Green Acre Estates 2nd Addition

Exhibit B

A. DEVELOPMENT STANDARDS:

1. Same as Article 7, of the Comprehensive Zoning Ordinance.

B. ZONING DISTRICTS:

1. Single Family Housing (PD-SF)

a) General Purpose and Description

This Planned Development district is intended to provide for planned residential development of detached, single-family residences on smaller and more compact lots of not less than 5,000 square feet in size.

b) Permitted Uses

Those listed for the SF-7 district in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as “P” or “S” are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article V of the City of Roanoke Comprehensive Zoning Ordinance.

c) Height Regulations

1. Maximum Height

- a. Two and one-half (2 1/2) stories, or thirty-five feet (35') for any building/house.
- b. One story, or sixteen (16') for other accessory buildings, including detached garages, garden shed, gazebo, etc.
- c. Other requirements (see article VII, City of Roanoke Comprehensive Zoning Ordinance)

d) Area Regulations

1. Size of Lot/Tract

- a. Minimum Lot/Tract Area. Five Thousand (5,000) square feet per approved plat.
- b. Minimum Lot/Tract Width. Fifty feet (50') per approved plat.

- c. Minimum Lot/Tract Depth. One hundred feet (100') per approved plat.

2. Size of Yards

- a. Minimum Front Yard. Twenty feet (20') per approved plat.
- b. Minimum Side Yard. Five feet (5') per approved plat.
 - i. There shall be a minimum side yard setback of five feet (5') on the street side of all corner lots, except those corner lots along the side of the street that other lots may front onto, shall be a minimum side yard setback of twenty feet (20').
- c. Minimum Rear Yard. Ten feet (10') per approved site plan.

- 3. **Maximum Lot/Tract Coverage.** Fifty percent (50%) by main buildings and accessory buildings.

2. Office (PD-O)

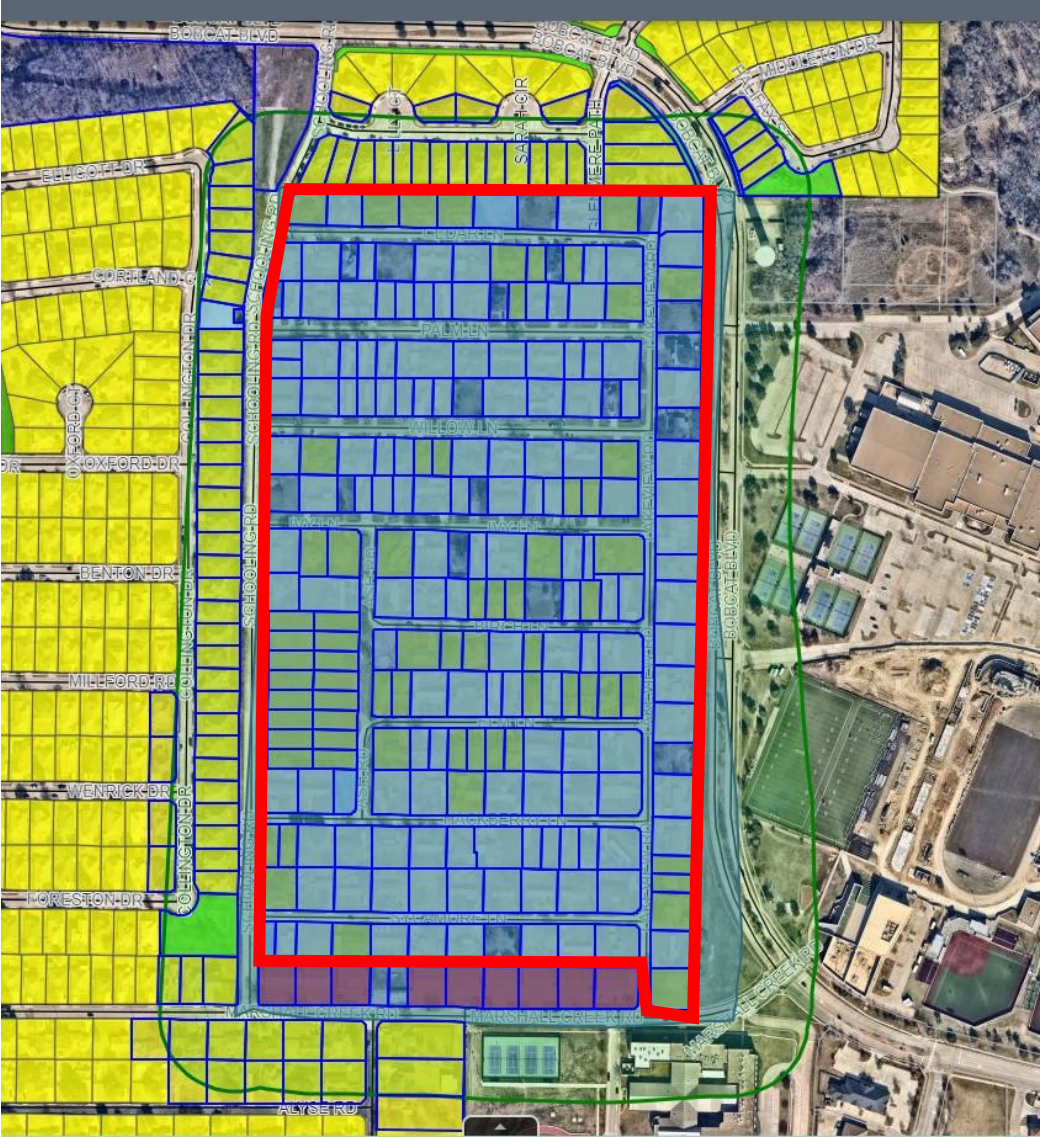
a) General Purpose and Description

The PD-O, Office, District is established to create an appropriate setting for low-intensity office and professional uses. This District may be located in close proximity to residential districts. Permitted uses should be compatible with adjacent residential areas by limiting heights to three (3) stories, and shall not include uses that create excessive amounts of traffic, noise, trash, or late-night business operations. Traffic generated by uses in this District shall not be encouraged to travel through residential areas. Adaptive reuse of existing structures is encouraged. Buildings in this district should be compatible and similar in scale with residential uses and adjacent property.

b) Permitted Uses

Those uses listed for the O District in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as “P” or “S” are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article VI, the following uses are also permitted in Article V of the City of Roanoke Comprehensive Zoning Ordinance.

Aerial GIS Map of Proposed Rezoning Boundaries



ORDINANCE No. 2014-114

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE FOR THE CITY OF ROANOKE, TEXAS, ON APPROXIMATELY 2.237 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY, ABSTRACT NO. 704, AND CONSISTING OF LOTS 1 THROUGH 10, BLOCK A OF THE MARSHALL CREEK SUBDIVISION, AN ADDITION LOCATED WITHIN THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND MORE PARTICULARLY DESCRIBED AND OR DEPICTED IN EXHIBIT "A" WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES, BY CHANGING THE ZONING ON THE APPROXIMATELY 2.237 ACRES TRACT OR TRACTS OF LAND FROM SINGLE FAMILY (SF-7) DISTRICT TO PLANNED DEVELOPMENT (PD) DISTRICT NO. 2014-114 (PD # 2014-16); PRESCRIBING THE PERMISSIBLE USES; PRESCRIBING THE DEVELOPMENT STANDARDS; PROVIDING A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, after public notice and public hearing as required by law, the Planning and Zoning Commission for the City of Roanoke, Texas, has recommended that the official zoning map of the City of Roanoke, Texas, be amended to reflect that the zoning on the approximately 2.237 acres of land, located within the Thomas Kelly Survey, Abstract No. 704, City of Roanoke, Denton County, Texas, and being more particularly described and depicted in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes, be changed from Single Family (SF-7) District to Planned Development District No. 2014-114 (PD # 2014-16), to allow single-family and office uses on said property; and

WHEREAS, the Planning and Zoning Commission of the City of Roanoke, Texas, and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Comprehensive Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS:

Section 1. FINDINGS INCORPORATED

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

Section 2.

That the approximately 2.237 acres of land, located within the Thomas Kelly Survey, Abstract No. 704, and consisting of Lots 1 through 10, Block A of the Marshall Creek subdivision, an addition located within the City of Roanoke, Denton County, Texas, and being more particularly described and depicted in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes, and presently zoned Single-Family (SF-7) District is changed to Planned Development District No. 2014-114 (PD # 2014-16), with residential and office uses, as more fully described herein.

Section 3.

That the property described in **Exhibit A** of this Ordinance, which is attached hereto and incorporated herein for all purposes, shall be subject to the Development Standards attached hereto as **Exhibit B** of this Ordinance, which is attached hereto and incorporated herein for all purposes.

Section 4. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

Section 5. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 6. REPEALER CLAUSE

Any provision of any prior ordinance of the City whether codified or uncodified, which are in conflict with any provision of the Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncodified, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

Section 7. EFFECTIVE DATE

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this the **24th** day of **June, 2014**.


APPROVED:



Carl E. Gierisch, Jr., Mayor




ATTEST:



April S. Hill, City Secretary

APPROVED AS TO FORM:



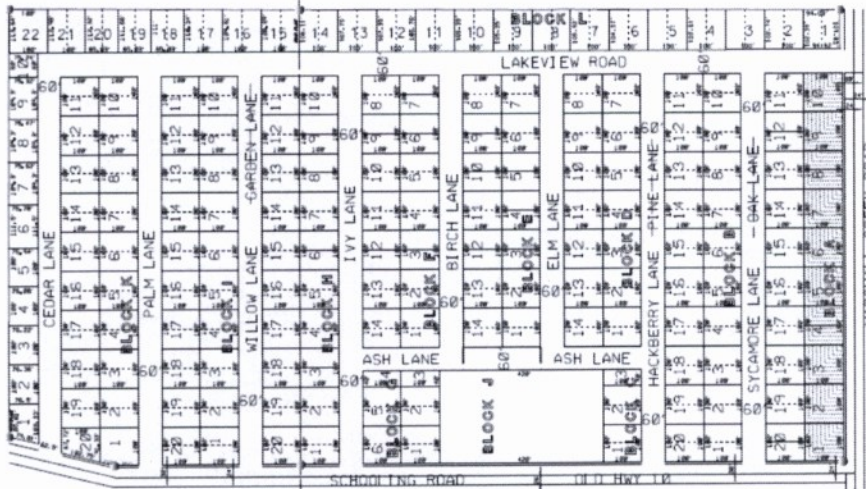
Jeff Moore, City Attorney

Exhibit A

Property Description and Depiction
of the
Approximately 2.237 Acre Tracts of Land

**GREEN ACRE
ESTATES 2ND
SECTION A-704**

**MARSHALL CREEK
VOL/PG 610/257**

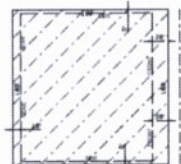


TYPICAL LOT LAYOUT

THOSE LOTS DEPICTED WITH A DASH LINE
BISECTING THE LOTS THAT ARE APPROXIMATELY
100' WIDE AND ARE 100' IN DEPTH CAN BE
SUBDIVIDED INTO TWO 50' WIDE LOTS TO
CREATE A MINIMUM OF 5000 SF LOTS

SET BACK REQUIREMENTS

FRONT - 20 FEET
SIDE - 5 FEET
REAR - 10 FEET



HATCHED LOT LAYOUT

THOSE LOTS SHOWN WITH HATCHING
LOTS 1-10, BLOCK "A"
ARE FOR OFFICE USE ONLY.

NO SUBDIVIDING

THOSE LOTS WITH NO DASH LINE
ARE NOT ELIGIBLE TO SUBDIVIDE

2.237 ACRE TRACT

**Lots 1 through 10, Block A, Marshall Creek
Thomas Kelly Survey, Abstract No. 704
City of Roanoke, Denton County, Texas**

DESCRIPTION, of a 2.237 acre tract of land situated in the Thomas Kelly Survey, Abstract No. 704, City of Roanoke, Denton County, Texas; said tract being all of Lots 1 through 10, Block A of Marshall Creek an addition to the City of Roanoke, Texas according to the plat recorded in Volume 610, Page 257, of the Plat Records of Denton County, Texas; said 2.237 acre tract being more particularly described as follows:

BEGINNING, at a point for corner at the intersection of the north line of Marshall Creek Road and the east line of Schooling Road; said point also being the southwest corner of said Lot 1;

THENCE, North 00 degrees, 10 minutes, 30 seconds West, along the said east line of Schooling Road, a distance of 100.00 feet to the northwest corner of said Lot 1;

THENCE North 89 degrees, 54 minutes, 22 seconds East, departing the said east line of Schooling Road and along the north line of said Lots 1 through 10, a distance of 1,000.00 feet to a point for corner at the northeast corner of said Lot 10, said point also being in the west line of Lakeview Drive (a 60-foot right-of-way);

THENCE, South 00 degrees, 10 minutes, 30 seconds East, along the said west line of Lakeview Drive, a distance of 94.92 feet to the southeast corner of said Lot 10; said point also being at the intersection of the said west line of Lakeview Drive and the said north line of Marshall Creek Boulevard;

THENCE South 89 degrees, 36 minutes, 54 seconds West, along the said north line of Marshall Creek Boulevard and along the south line of said Lots 1 through 10, a distance of 1,000.01 feet to the POINT OF BEGINNING;

CONTAINING: 97,460 square feet or 2.237 acres of land, more or less.

This document was prepared under 22 TAC §663.21, does not reflect the results of an on the ground survey, and is not to be used to convey or establish interests in real property except those rights and interests implied or established by the creation or reconfiguration of the boundary of the political subdivision for which it was prepared.

Exhibit B

Development Standards

A. DEVELOPMENT STANDARDS:

1. Same as Article 7, of the Comprehensive Zoning Ordinance.

B. ZONING DISTRICTS:

1. Single Family Housing (PD-SF)

(a) General Purpose and Description

This Planned Development district is intended to provide for planned residential development of detached, single-family residences on smaller and more compact lots of not less than 5,000 square feet in size

(b) Permitted Uses

Those listed for the SF-7 district in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as "P" or "S" are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article V of the City of Roanoke Comprehensive Zoning Ordinance.

(c) Height Regulations

(1) Maximum Height

- (A) Two and one-half (2 ½) stories, or thirty-five feet (35') for any building/house.
- (B) One story, or sixteen (16') for other accessory buildings, including detached garages, garden shed, gazebo, etc.
- (C) Other requirements (see article VII, City of Roanoke Comprehensive Zoning Ordinance)

(d) Area Regulations

(1) Size of Lot/Tract

- (A) Minimum Lot/Tract Area. Five Thousand (5,000) square feet per approved plat.
- (B) Minimum Lot/Tract Width. Fifty feet (50') per approved

plat.

- (C) Minimum Lot/Tract Depth. One hundred feet (100') per approved plat.

(2) Size of Yards

- (A) Minimum Front Yard. Twenty feet (20') per approved plat.

- (B) Minimum Side Yard. Five feet (5') per approved plat.

- (i) There shall be a minimum side yard setback of five feet (5') on the street side of all corner lots; except those corner lots along the side of the street that other lots may front onto, shall be a minimum side yard setback of twenty feet (20').

- (C) Minimum Rear Yard. Ten feet (10') per approved site plan.

2. Office (PD-O)

(a) General Purpose and Description

The PD-O, Office, District is established to create an appropriate setting for low intensity office and professional uses. This District may be located in close proximity to residential districts. Permitted uses should be compatible with adjacent residential areas by limiting heights to three (3) stories, and shall not include uses that create excessive amounts of traffic, noise, trash or late-night business operations. Traffic generated by uses in this District shall not be encouraged to travel through residential areas. Adaptive reuse of existing structures is encouraged. Buildings in this district should be compatible and similar in scale with residential uses and adjacent property.

(b) Permitted Uses

Those uses listed for the O District in Article VI of the City of Roanoke Comprehensive Zoning Ordinance as "P" or "S" are authorized uses permitted by right or specially permitted uses, respectively. Special uses must be approved utilizing procedures set forth in Article VI, the following uses are also permitted in Article V of the City of Roanoke Comprehensive Zoning Ordinance.



City of Roanoke
Notice of Public Hearing
Zoning Amendment



NOTICE OF PUBLIC HEARINGS
ZONING AMENDMENT

«name»
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«addrFreeForm3»

Roanoke Planning & Zoning Commission
ZC-2026-03

THE ROANOKE PLANNING AND ZONING COMMISSION WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 4 2026, TO CONSIDER A CITY INITIATED REZONING OF APPROXIMATELY 36.912 ACRES LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, BY CHANGING THE ZONING FROM SF-7 ZONING DISTRICT TO PLANNED DEVELOPMENT ESTABLISHED BY ORDINANCE NO. 2014-114 (MARSHALL CREEK PD). **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Additional Information: This is a technical correction. Due to an oversight, these properties were not included in the establishment of the Planned Development in 2014 as intended.

ZTA-2026-04

THE ROANOKE PLANNING AND ZONING COMMISSION WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 4, 2026, TO CONSIDER AMENDING PLANNED DEVELOPMENT DISTRICT ORDINANCE NO. 2014-114, AND THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, BY ADDING A MAXIMUM LOT/TRACT COVERAGE OF 50% FOR SINGLE FAMILY DEVELOPMENT FOR AN APPROXIMATELY 39.149 ACRES OF LAND CONSISTING OF LOTS 1-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS,. **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Roanoke City Council
ZC-2026-03

THE ROANOKE CITY COUNCIL WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 12 2026, AND CONSIDER A CITY INITIATED REZONING OF APPROXIMATELY 36.912 ACRES LOCATED IN THE THOMAS KELLY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK

F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLEY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, BY CHANGING THE ZONING FROM SF-7 ZONING DISTRICT TO PLANNED DEVELOPMENT ESTABLISHED BY ORDINANCE NO. 2014-114 (PD-2014-#16). **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

Additional Information: This is a technical correction. Due to an oversight, these properties were not included in the establishment of the Planned Development in 2014 as intended.

ZTA-2026-04

THE **ROANOKE CITY COUNCIL WILL HOLD A PUBLIC HEARING ON MONDAY, MAY 12, 2026**, TO CONSIDER AMENDING PLANNED DEVELOPMENT DISTRICT ORDINANCE NO. 2014-114, AND THE COMPREHENSIVE ZONING ORDINANCE OF THE CITY OF ROANOKE, TEXAS, BY ADDING A MAXIMUM LOT/TRACT COVERAGE OF 50% FOR SINGLE FAMILY DEVELOPMENT FOR AN APPROXIMATELY 39.149 ACRES OF LAND CONSISTING OF LOTS 1-20, BLOCK A; LOTS 1-20R-2; BLOCK B; LOTS 1-3, BLOCK C; LOTS 1-14, BLOCK D; LOTS 1-14, BLOCK E; LOTS 1-14, BLOCK F; LOTS 1-6, BLOCK G; LOTS 1-10, BLOCK H; LOTS 1-16, BLOCK J; LOTS 1-14, BLOCK L; OF THE MARSHALL CREEK ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS AND OF APPROXIMATELY 20.59 ACRES OF LAND LOCATED IN THE THOMAS KELLEY SURVEY ABSTRACT NO. 704 AND CONSISTING OF LOTS 11-20, BLOCK H; LOTS 1-20, BLOCK I; LOTS 1-20, BLOCK K; LOTS 1-10, BLOCK M; AND LOTS 15-22, BLOCK L; OF THE GREEN ACRE ESTATES 2ND SECTION ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS,. **THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. AT THE ROANOKE CITY HALL LOCATED AT 500 S. OAK STREET, ROANOKE, TEXAS.**

PROCEDURE:

A maximum of three (3) minutes will be allocated to the applicant and those favoring the issue of the public hearing. The applicant may reserve any portion of the allotted three (3) minutes for a rebuttal presentation following the opposition.

A maximum of three (3) minutes will also be allocated to those in opposition to the issue of the public hearing.

TO SURROUNDING LAND OWNERS:

There is a property location map on page 3 of this notice. Property owners within 200'(ft.) of the tract(s) receive written notification of the request. All interested property owners are encouraged to attend this hearing. **Persons wishing their opinion to be part of the record, and who are unable to attend, may send a written reply prior to the date of the hearing to:** The City of Roanoke, 500 South Oak Street, Roanoke, TX 76262 Attn: Ashlie Tolliver, City Planner, or email it to atolliver@roanoketexas.com

FOR FURTHER INFORMATION: Please contact Ashlie Tolliver, AICP, City Planner at (682) 549-1374. Please reference the number on the bottom of Page 1 of this notice.

Enclosed – A map showing the boundary of properties impacted by ZC-2026-03 and ZTA-2025-03

PROPERTY LOCATION MAP (AREA BOUNDARY OUTLINED IN RED)

PROPERTY BOUNDARIES IMPACTED:

