

Diana Smith, Commissioner
Donald Glacy, Commissioner
Jeannie De Fazio, Commissioner



Ernie Adams, Commissioner
Victor Molaschi, Vice Chairman
Mark McCullough, Commissioner

ROANOKE PLANNING AND ZONING AGENDA

JUNE 16, 2025

7:00 PM

ROANOKE CITY HALL

1ST FLOOR - COMMUNITY ROOM #132

**500 S. OAK STREET
ROANOKE, TEXAS 76262**

A. CALL TO ORDER

B. PUBLIC INPUT

This item is available for citizens to address the Planning and Zoning Commission on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda. In order to provide the highest quality audio, all speakers need to speak at the podium.

C. APPROVAL OF THE MINUTES

1. Consideration and action on approval of the minutes from the regular Planning and Zoning Commission meeting held on May 19, 2025.

D. OLD BUSINESS

1. Consideration and recommendation on Ordinance No. 2025-106 amending Ordinance No. 2000-124 of the City of Roanoke, Texas, to allow Townhomes use on approximately 13.798 acres of land consisting of Block 1, Lot 1R5, of the PPR Roanoke Retail Addition. The property is generally located northeast of Marshall Creek Road and US Hwy 377.

E. NEW BUSINESS

1. Consideration and recommendation on a Site Plan (SP 2025-01) request from Bowman Consulting Group, LTD, for 2 buildings, a multi-tenant



**AGENDA FOR THE PLANNING AND
ZONING COMMISSION**

**June 16, 2025
Page 2 of 2**

building and restaurant and bar to be located on an approximate 1.041 acre parcel, being a part of the Reno Red Addition, Block A Lot 1, City of Roanoke Denton County, Texas; generally located on the east of N Hwy 377 and on the west side of N Oak, south of Lamar Street.

F. ADJOURNMENT

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Thursday, June 12, 2025, by 5:00 pm, in accordance with Chapter 551, Texas Government Code.

April S. Hill, City Secretary

*Any person planning to attend this meeting that may require auxiliary aids or services should request accommodations two (2) days prior to the meeting by calling (817) 491-8152. **BRILLE IS NOT AVAILABLE.**

A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: Planning and Zoning Commission

SUBJECT: 05/19/2025 - P&Z Minutes

MEETING DATE: June 16, 2025

DEPARTMENT: City Secretary

ITEM SUMMARY:

Consideration and action on approval of the minutes from the regular Planning and Zoning Commission meeting held on May 19, 2025.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. PZMin 05-19-2025

Diana Smith, Commissioner
Donald Glacy, Commissioner
Jeannie De Fazio, Commissioner



Jason Kasal, Chairman

Ernie Adams, Commissioner
Victor Molaschi, Vice Chairman
Mark McCullough, Commissioner

**ROANOKE PLANNING AND ZONING MINUTES
MAY 19, 2025**

**7:00 P.M.
ROANOKE CITY HALL
CITY COUNCIL CHAMBERS – 2ND FLOOR
500 S. OAK STREET
ROANOKE, TEXAS 76262**

Present: Vice Chairman Victor Molaschi; Commissioners: Mark McCullough, Donald Glacy, Ernie Adams, and Diana Smith. Development Services Manager J.R. Hames, City Planner Matthew Ellis, and Executive Assistant Babette Welch.

Absent: Chairman Jason Kasal; Commissioner Jeannie De Fazio.

A. CALL TO ORDER

Meeting called to order at 7:00 p.m.

B. PUBLIC INPUT

No one wished to speak.

C. APPROVAL OF THE MINUTES

1. Motion made by Diana Smith second by Donald Glacy to approve the minutes from the regular Planning and Zoning Commission meeting held on April 21, 2025. Motion carried unanimously.

D. OLD BUSINESS

1. Motion made by Donald Glacy second by Diana Smith to deny a Specific Use Permit (SUP 2025-02) request from Ken Goodman, amending the Comprehensive Zoning Ordinance of the City of Roanoke, Texas, for Lot 9, Block 14 of the O T Roanoke Addition, an addition to the City of Roanoke, Denton County, Texas, by changing the zoning on said tract of land from Oak Street Corridor Zoning District - Oak Street Zone to Oak Street Corridor Zoning District - Oak Street Zone – Specific Use Permit to allow amusement commercial (outdoors) use for 212 N Oak Street. The property is generally located on the east side of N Oak Street at the southeast corner of N Oak and Austin Street. (Ordinance No. 2025-103)
Motion carried unanimously.

E. NEW BUSINESS

1. Public hearing to consider amending Planned Development District Ordinance No. 2000-124, and the Comprehensive Zoning Ordinance of the City of Roanoke, Texas, By Amending Ordinance No. 2000-124 to allow a Townhome Use on an approximately 13.798-Acres of land, being a portion of Lot 1R5, Block 1, PPR Roanoke Retail Addition. (Ordinance No. 2025-106)

Public hearing started at 7:19 p.m.

No one wished to speak.



MINUTES FOR THE REGULAR
PLANNING AND ZONING COMMISSION
MEETING

May 19, 2025
Page 2 of 2

Public hearing ended at 7:20 p.m.

2. Consideration and recommendation on approval of Ordinance No. 2025-106 amending Ordinance No. 2000-124 of the City of Roanoke, Texas, to allow Townhomes use on approximately 13.798 acres of land consisting of Block 1, Lot 1R5, of the PPR Roanoke Retail Addition. The property is generally located northeast of Marshall Creek Road and US Hwy 377.

Motion made by Mark McCullough second by Donald Glacy to deny Ordinance No. 2025-106 amending Ordinance No. 2000-124 of the City of Roanoke, Texas, to allow Townhomes use on approximately 13.798 acres of land consisting of Block 1, Lot 1R5, of the PPR Roanoke Retail Addition. The property is generally located northeast of Marshall Creek Road and US Hwy 377.

Motion failed 1-3-1. Vice Chairman Victor Molaschi, Commissioner Donald Glacy and Commissioner Mark McCullough were all opposed, and Commissioner Ernie Adams abstained due to a conflict of interest.

Motion made by Donald Glacy second by Diana Smith to table this item until the June 16, 2025 Planning and Zoning Commission meeting.

Motion carried unanimously.

F. ADJOURNMENT

Motion made by Ernie Adams second by Donald Glacy to adjourn the meeting at 8:08 p.m.

Motion carried unanimously.

Victor Molaschi, Vice Chairman

Babette Welch, Executive Assistant



AGENDA ITEM

TO: Planning and Zoning Board

SUBJECT: Ordinance 2025-106

MEETING DATE: June 16, 2025

DEPARTMENT: Planning

ITEM SUMMARY:

Consideration and recommendation on Ordinance No. 2025-106 amending Ordinance No. 2000-124 of the City of Roanoke, Texas, to allow Townhomes use on approximately 13.798 acres of land consisting of Block 1, Lot 1R5, of the PPR Roanoke Retail Addition. The property is generally located northeast of Marshall Creek Road and US Hwy 377.

INFORMATION:

The applicant is requesting an amendment to this PD to change the permitted uses from commercial retail to residential attached single-family dwelling townhomes. The proposed development would include 164 total units and one amenity center with a swimming pool located outdoors. a complete data table with proposed setbacks and area regulations are included in the concept plan as an attachment.

Planning Analysis

- **Sec. 12.622. - Planned Development Requirements.**

Any development requirements for a particular PD district that deviate from those of the base zoning district(s) shall be set forth in the amending ordinance granting the PD district. These shall include, but may not be limited to: allowed or additional uses, lot/tract area, lot/tract width, lot/tract depth, yard depths and widths, building height and size, building exterior construction, lot/tract coverage, floor area ratio, parking, access, screening, landscaping, accessory buildings, signs, lighting, project phasing or scheduling, property management associations, and other requirements as the City Council and Planning and Zoning Commission may deem appropriate.



AGENDA ITEM

Access - One new access point will be provided on Marshall Creek Rd in addition to exiting access along Hwy 377.

Height - 2 stories, 27ft.

Masonry - 25% masonry, 75% cementitious fiber board. 65% masonry on front elevations.

Garage Configuration - Proposed, front access. Required, rear access.

A minimum of two (2) enclosed parking spaces for each dwelling unit, located behind, beside or incorporated into the dwelling unit, and accessed only from the rear via an alley, and located on the same lot/tract as each dwelling unit (see article VII, division 2 of this chapter, Off-Street Parking and Loading Requirements).

Densities - Required, 8 units per gross acre, Provided, 12 units per gross acre.

STAFF RECOMMENDATION:

It is staff's recommendation this property remain retail, as it is currently zoned. The proposed amendment does not meet the area regulations listed in our Comprehensive Zoning Ordinance for single-family attached residential. The densities are higher than what is currently permitted for attached residential units and garages are required to be located in the rear portion of the lots, accessed by an alley.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. Zoning Application- Marshall Creek Townhomes - Use for CivicClerk
2. ORD NO 2025-106 - Zoning Amendment - PD2000-124 - Allow Townhomes - jlm draft - 041825
3. JPI_Concept Plan
4. JPI_Landscape Plan
5. Roanoke Vista Traffic Impact Analysis
6. CFA Support Letter



CITY OF ROANOKE
500 S. OAK STREET
ROANOKE, TEXAS 76262
(817) 491-2411 FAX (817) 491-2242

ZONING APPLICATION

Applicant/Agent Name Rich Darragh		Home Phone	Mobile Phone 314-954-2051
Address 9001 Cypress Waters Blvd.		City / State Irving	Zip 75019
Property Owner(s) Darrell Lake		Home Phone	Work Phone 817-657-1180
Address, City, State, Zip			
Present Zoning Classification PD	Requested Zoning Classification PD "As Is" with the addition of SFA	Acreage/Lot of Requested Zoning Classification 13.3 Acres	

Are any Deed restrictions in place that would prevent this property being used in the manner herein proposed?

☐ Yes ☒ No

If yes, list restrictions _____

Proposed use: Townhomes

Justification for requested zoning change: Tough visibility and site shape for retail to succeed. Furthermore, this site could be developed as multiple hotel sites and townhomes fit in better with the surroundings.

I authorize the City of Roanoke to place one change of zoning sign on the subject property to remain in place for the duration of the zoning change process.

[Signature]
Applicant Signature and Date

Attach one (1) electronic copy in a pdf format of the Metes & Bounds description of the property and a survey map of the property. Fees for Zoning Request is \$250.00 plus \$10.00 per acre. Fees are subject to change if amended by Ordinance.

Authorization:

I/We PPR Roanoke Retail Ltd owner(s) of the above described property do hereby authorize _____ to act on my/our behalf in making and representing this zoning change application.

[Signature]
Signature of owner

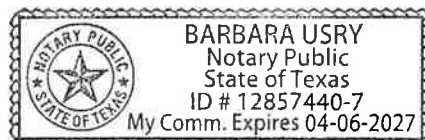
3.17.25
Date

State of Texas

County of Harris

Sworn to and subscribed before me on the 17 day of March, 2025 by William Darrell Lake
(year) (name of owner).

Notary Seal



[Signature]
Notary Public's Signature

07/20/2023

Please submit to permits@roanoketexas.com with supporting documents. City of Roanoke | 500 S. Oak Street | Roanoke, TX 76262 | 817-491-2411

ORDINANCE No. 2025-106

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AMENDING THE COMPREHENSIVE ZONING ORDINANCE BY AMENDING ORDINANCE NO. 2000-124, TO ALLOW A TOWNHOME USE ON AN APPROXIMATELY 13.798 ACRES OF LAND, BEING A PORTION OF LOT 1R5, BLOCK 1, PPR ROANOKE RETAIL ADDITION, AN ADDITION TO THE CITY OF ROANOKE, DENTON COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED IN *EXHIBIT A* OF THIS ORDINANCE, WHICH IS ATTACHED HERETO AND INCORPORATED HEREIN FOR ALL PURPOSES; PROVIDING A PENALTY CLAUSE; PROVIDING A SEVERABILITY CLAUSE; PROVIDING A REPEALER CLAUSE; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, Section 12.124(b) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, “[f]or requests involving proposed changes to the text of the Zoning Ordinance, notice of the Planning and Zoning Commission hearing shall be accomplished by publishing the purpose, time and place of the public hearing in the official newspaper of the City before the fifteenth (15th) calendar day prior to the date of the public hearing. Changes in the Ordinance text which do not change zoning district boundaries do not require written notification to individual property owners;” and

WHEREAS, Section 12.127(c) of the Code of Ordinances of the City of Roanoke, Texas, provides as follows, “[n]otice of the City Council public hearing for a zoning, rezoning or Zoning Ordinance text amendment request shall be given in the same manner as that for the public hearing before the Planning and Zoning Commission as required in Section 12.124;” and

WHEREAS, the Planning and Zoning Commission and the City Council of the City of Roanoke, Texas, in compliance with the laws of the State of Texas, and the Code of Ordinances of the City of Roanoke, Texas, have given the requisite notices by publication and otherwise, and have held due hearings and afforded a full and fair hearing to all property owners generally and to all persons interested, and the City Council of the City of Roanoke, Texas, is of the opinion and finds that said changes should be granted and that the Zoning Ordinance should be amended.

NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS:

Section 1. FINDINGS INCORPORATED

The findings set forth above are incorporated into the body of this Ordinance as if fully set forth herein.

Section 2.

That the Comprehensive Zoning Ordinance of the City of Roanoke, Texas, is hereby amended for an approximately 13.798-acres of land, being a portion of Lot 1R5, Block 1, PPR Roanoke Retail Addition, an addition to the City of Roanoke, Denton County, Texas, and being more particularly described in *Exhibit A* of this Ordinance, which is attached hereto and incorporated herein for all purposes, by amending Table 1 of Ordinance Number 2000-124 approved by the City Council of the City of Roanoke, Texas, on November 14, 2000, entitled “Allowed Uses” to allow a Townhome use on said 13.798-acres of land.

Section 3. PENALTY CLAUSE

Any person, firm, or corporation violating any of the provisions or terms of this Ordinance shall be guilty of a misdemeanor and upon conviction, shall be fined a sum not to exceed \$2,000.00 for each offense, and each and every violation or day such violation shall continue or exist, shall be deemed a separate offense.

Section 4. SEVERABILITY CLAUSE

It is hereby declared to be the intention of the City Council that the phrases, clauses, sentences, paragraphs and sections of this Ordinance are severable, and if any phrase, clause, sentence, paragraph or section of this Ordinance shall be declared unconstitutional by the valid judgment or decree of any court of competent jurisdiction, such unconstitutionality shall not affect any of the remaining phrases, clauses, sentences, paragraphs and sections of this Ordinance, since the same would have been enacted by the City Council without the incorporation of this Ordinance of any such unconstitutional phrase, clause, sentence, paragraph or section.

Section 5. REPEALER CLAUSE

Any provision of any prior ordinance of the City whether codified or uncoded, which are in conflict with any provision of the Ordinance, are hereby repealed to the extent of the conflict, but all other provisions of the ordinances of the City whether codified or uncoded, which are not in conflict with the provisions of this Ordinance, shall remain in full force and effect.

Section 6. EFFECTIVE DATE

This Ordinance shall become effective immediately upon its passage and publication as required by law.

PASSED, APPROVED AND ADOPTED by the City Council of the City of Roanoke, Texas, on this the 27th day of May, 2025.

APPROVED:

Carl E. Gierisch, Jr., Mayor

ATTEST:

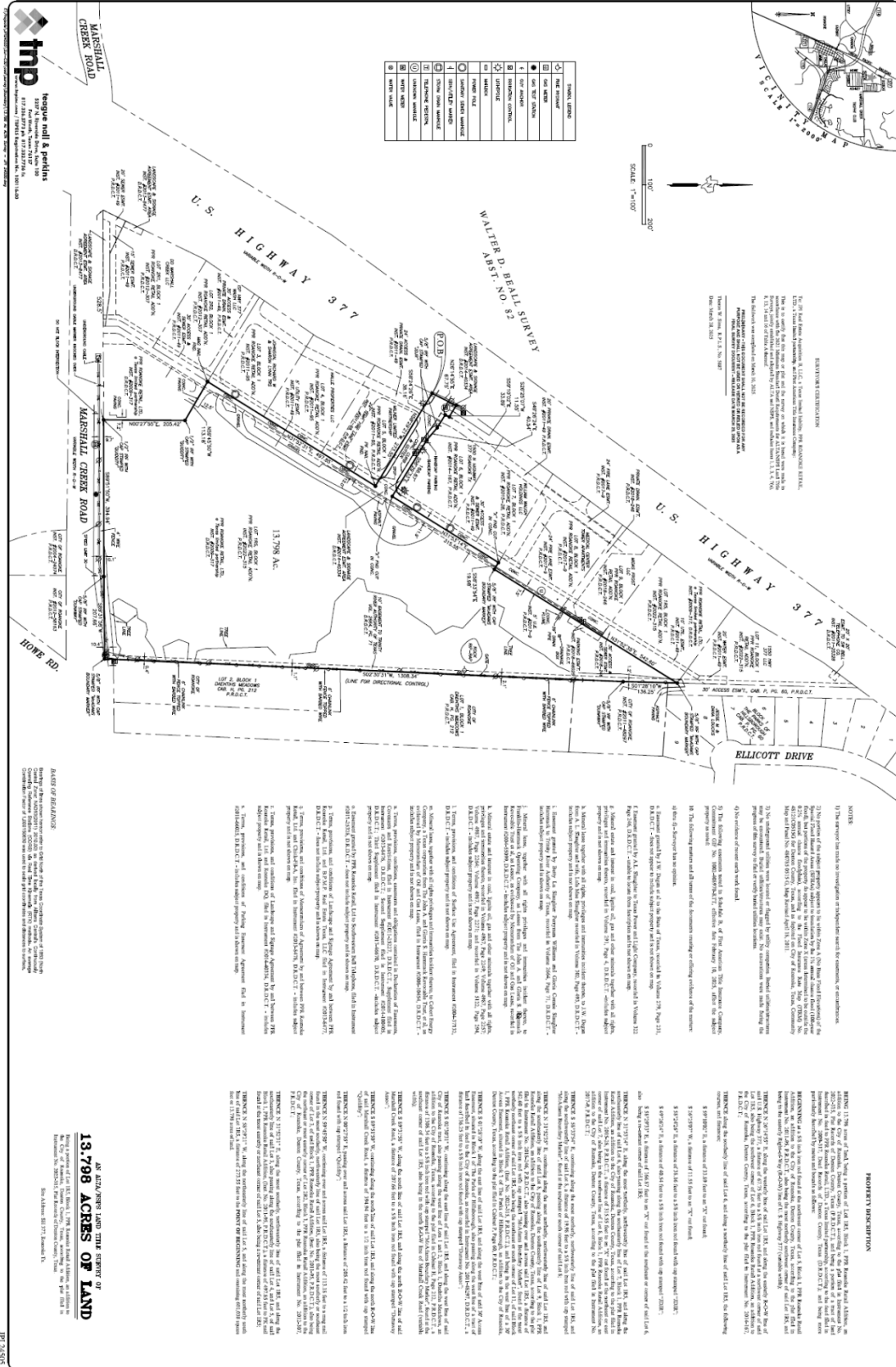
April S. Hill, City Secretary

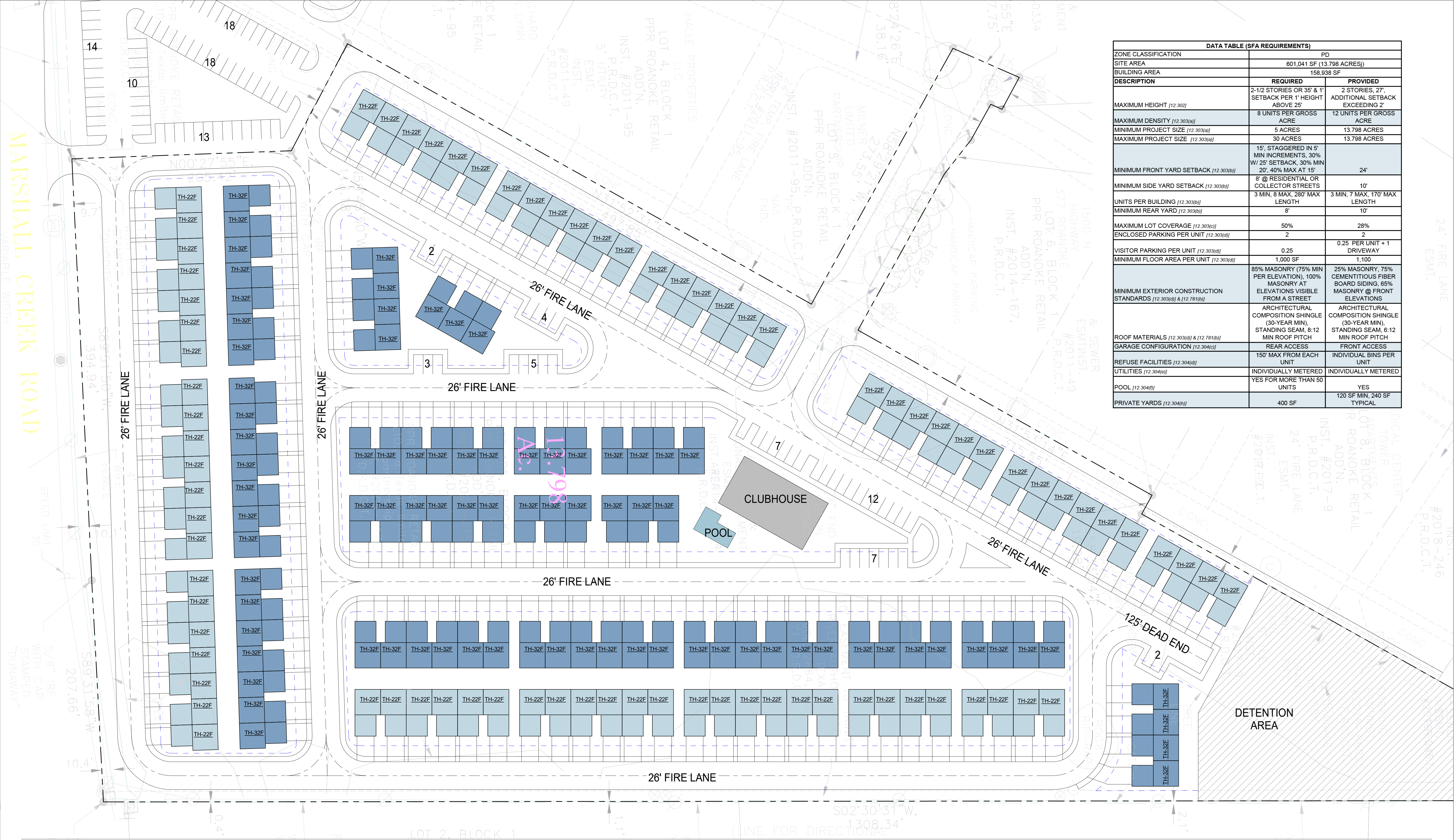
APPROVED AS TO FORM:

Jeff Moore, City Attorney

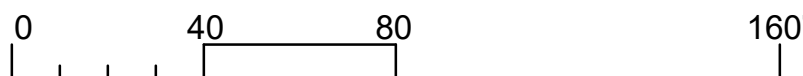
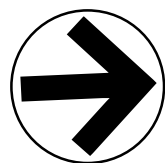
Exhibit A

[Legal Description and/or Depiction of the Property]





DATA TABLE (SFA REQUIREMENTS)		
ZONE CLASSIFICATION	PD	
SITE AREA	601,041 SF (13.798 ACRES)	
BUILDING AREA	158,938 SF	
DESCRIPTION	REQUIRED	PROVIDED
MAXIMUM HEIGHT [12.302]	2-1/2 STORIES OR 35' & 1' SETBACK PER 1' HEIGHT ABOVE 25'	2 STORIES, 27', ADDITIONAL SETBACK EXCEEDING 2'
MAXIMUM DENSITY [12.303(a)]	8 UNITS PER GROSS ACRE	12 UNITS PER GROSS ACRE
MINIMUM PROJECT SIZE [12.303(a)]	5 ACRES	13.798 ACRES
MAXIMUM PROJECT SIZE [12.303(a)]	30 ACRES	13.798 ACRES
MINIMUM FRONT YARD SETBACK [12.303(b)]	15', STAGGERED IN 5' MIN INCREMENTS, 30% W/ 25' SETBACK, 30% MIN 20', 40% MAX AT 15'	24'
MINIMUM SIDE YARD SETBACK [12.303(b)]	8' @ RESIDENTIAL OR COLLECTOR STREETS	10'
UNITS PER BUILDING [12.303(b)]	3 MIN, 8 MAX, 280' MAX LENGTH	3 MIN, 7 MAX, 170' MAX LENGTH
MINIMUM REAR YARD [12.303(b)]	8'	10'
MAXIMUM LOT COVERAGE [12.303(c)]	50%	28%
ENCLOSED PARKING PER UNIT [12.303(d)]	2	2
VISITOR PARKING PER UNIT [12.303(d)]	0.25	0.25 PER UNIT + 1 DRIVEWAY
MINIMUM FLOOR AREA PER UNIT [12.303(d)]	1,000 SF	1,100
MINIMUM EXTERIOR CONSTRUCTION STANDARDS [12.303(d)] & [12.781(b)]	85% MASONRY (75% MIN PER ELEVATION), 100% MASONRY AT ELEVATIONS VISIBLE FROM A STREET	25% MASONRY, 75% CEMENTITIOUS FIBER BOARD SIDING, 65% MASONRY @ FRONT ELEVATIONS
ROOF MATERIALS [12.303(d)] & [12.781(b)]	ARCHITECTURAL COMPOSITION SHINGLE (30-YEAR MIN), STANDING SEAM, 8:12 MIN ROOF PITCH	ARCHITECTURAL COMPOSITION SHINGLE (30-YEAR MIN), STANDING SEAM, 8:12 MIN ROOF PITCH
GARAGE CONFIGURATION [12.304(c)]	REAR ACCESS	FRONT ACCESS
REFUSE FACILITIES [12.304(d)]	150' MAX FROM EACH UNIT	INDIVIDUAL BINS PER UNIT
UTILITIES [12.304(e)]	INDIVIDUALLY METERED	INDIVIDUALLY METERED
POOL [12.304(f)]	YES FOR MORE THAN 50 UNITS	YES
PRIVATE YARDS [12.304(h)]	400 SF	120 SF MIN, 240 SF TYPICAL



Townhome Schedule 2	
Name	Count
TH-22F	81
TH-32F	83
	164

OWNER:
JPI DEVELOPMENT
9001 CYPRESS WATERS BLVD.
SUITE 2A
DALLAS, TX 75019
CONTACT: ANISH JOSPEH

NOT FOR
CONSTRUCTION

DATE:
04/07/2025 SITE PLAN

SHEET TITLE:
LANDSCAPING
PLAN

L 1.10

VICINITY MAP

N US HWY 377

MARSHALL CREEK RD

SITE

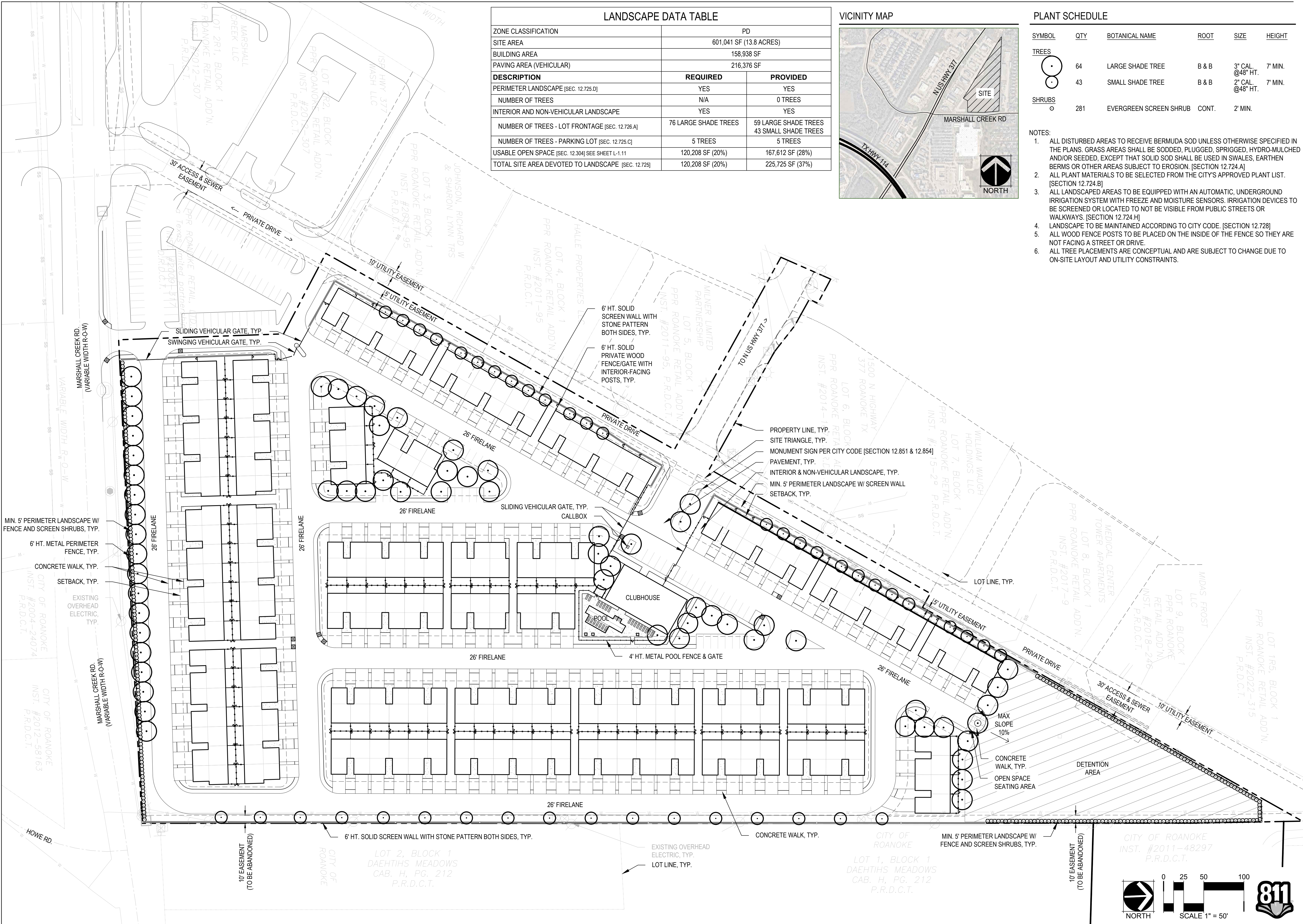
TX HWY 114

NORTH

<u>SYMBOL</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>ROOT</u>	<u>SIZE</u>	<u>HEIGHT</u>
<u>TREES</u>					
	64	LARGE SHADE TREE	B & B	3" CAL. @48" HT.	7' MIN.
	43	SMALL SHADE TREE	B & B	2" CAL. @48" HT.	7' MIN.
<u>SHRUBS</u>					
	281	EVERGREEN SCREEN SHRUB	CONT.	2' MIN.	

NOTES:

1. ALL DISTURBED AREAS TO RECEIVE BERMUDA SOD UNLESS OTHERWISE SPECIFIED IN THE PLANS. GRASS AREAS SHALL BE SODDED, PLUGGED, SPRIGGED, HYDRO-MULCHED AND/OR SEEDED, EXCEPT THAT SOLID SOD SHALL BE USED IN SWALES, EARTHEN BERMS OR OTHER AREAS SUBJECT TO EROSION. [SECTION 12.724.A]
2. ALL PLANT MATERIALS TO BE SELECTED FROM THE CITY'S APPROVED PLANT LIST. [SECTION 12.724.B]
3. ALL LANDSCAPED AREAS TO BE EQUIPPED WITH AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM WITH FREEZE AND MOISTURE SENSORS. IRRIGATION DEVICES TO BE SCREENED OR LOCATED TO NOT BE VISIBLE FROM PUBLIC STREETS OR WALKWAYS. [SECTION 12.724.H]
4. LANDSCAPE TO BE MAINTAINED ACCORDING TO CITY CODE. [SECTION 12.728]
5. ALL WOOD FENCE POSTS TO BE PLACED ON THE INSIDE OF THE FENCE SO THEY ARE NOT FACING A STREET OR DRIVE.
6. ALL TREE PLACEMENTS ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE DUE TO ON-SITE LAYOUT AND UTILITY CONSTRAINTS.



CHECKED BY: RL, JW
DRAWN BY: EH

ROANOKE TOWNHOMES
US 377 AND MARSHALL CREEK ROAD
ROANOKE, TEXAS

OWNER:
JPI DEVELOPMENT
9001 CYPRESS WATERS BLVD.
SUITE 2A
DALLAS, TX 75019
CONTACT: ANISH JOSPEH

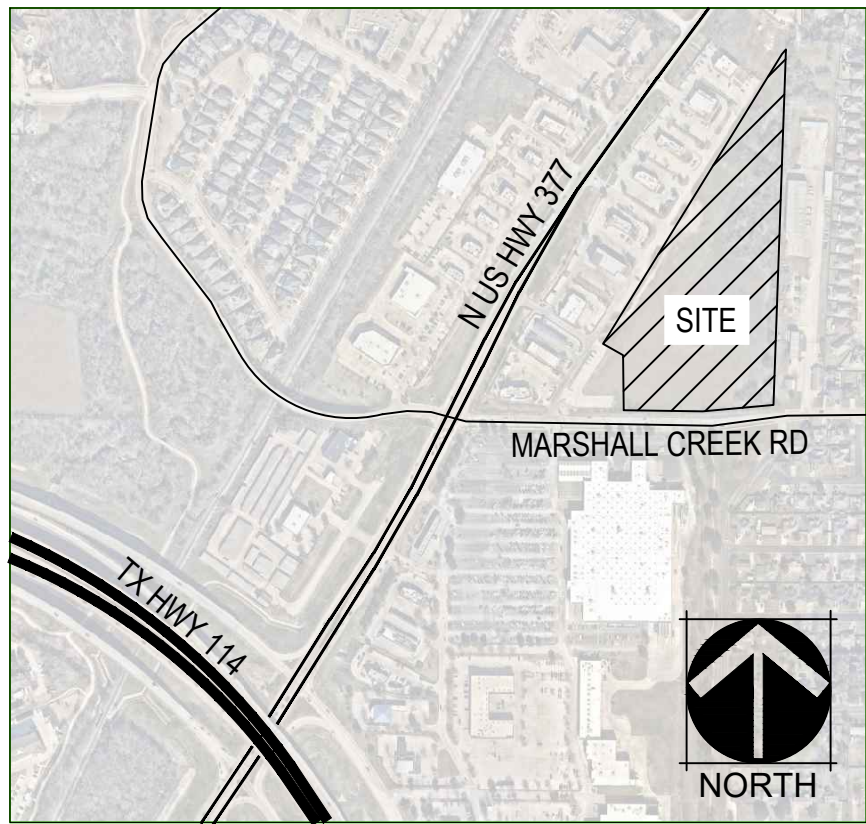
NOT FOR
CONSTRUCTION

DATE:
04/07/2025 SITE PLAN

SHEET TITLE:
OPEN SPACE
PLAN

L 1.11

VICINITY MAP

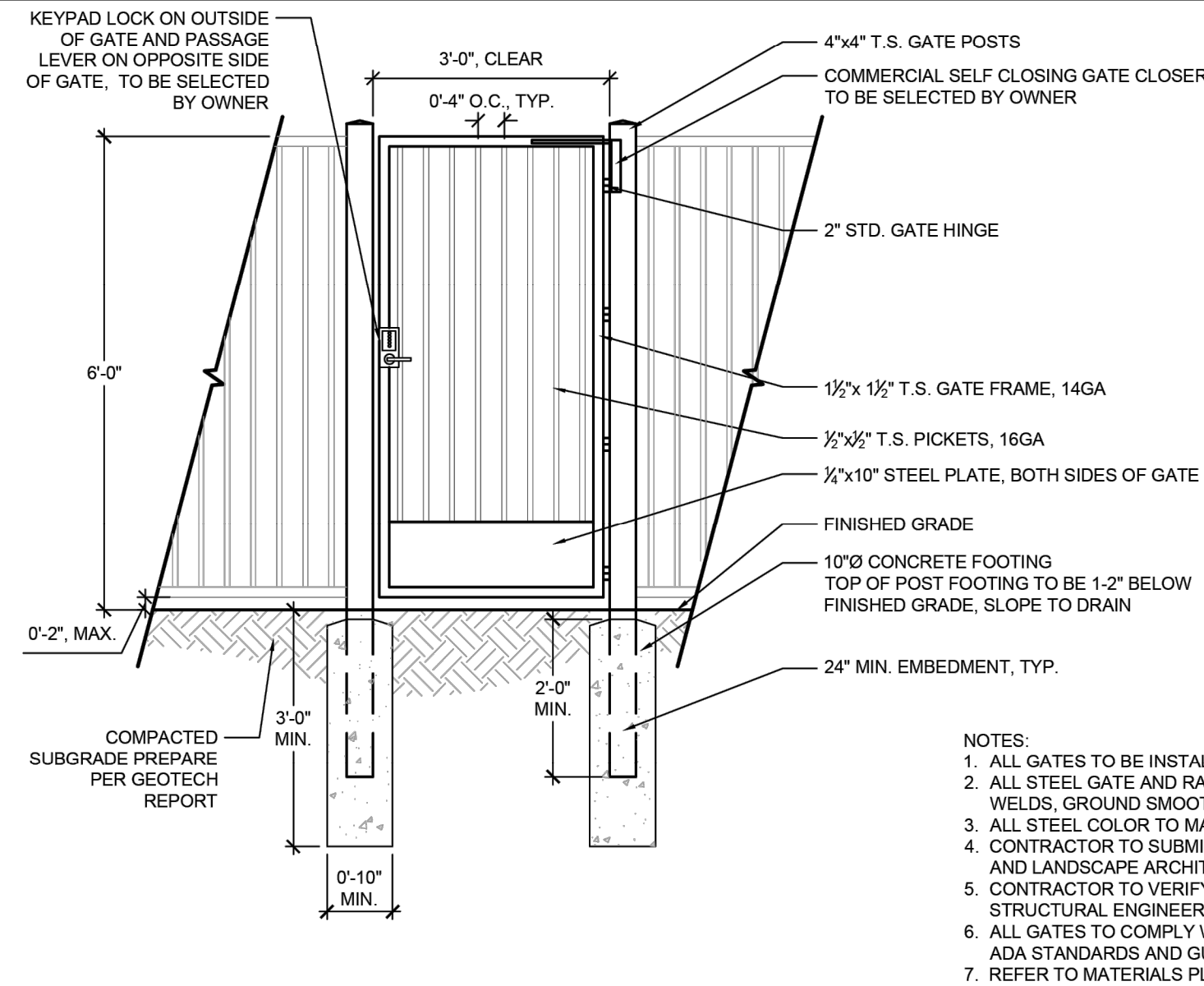
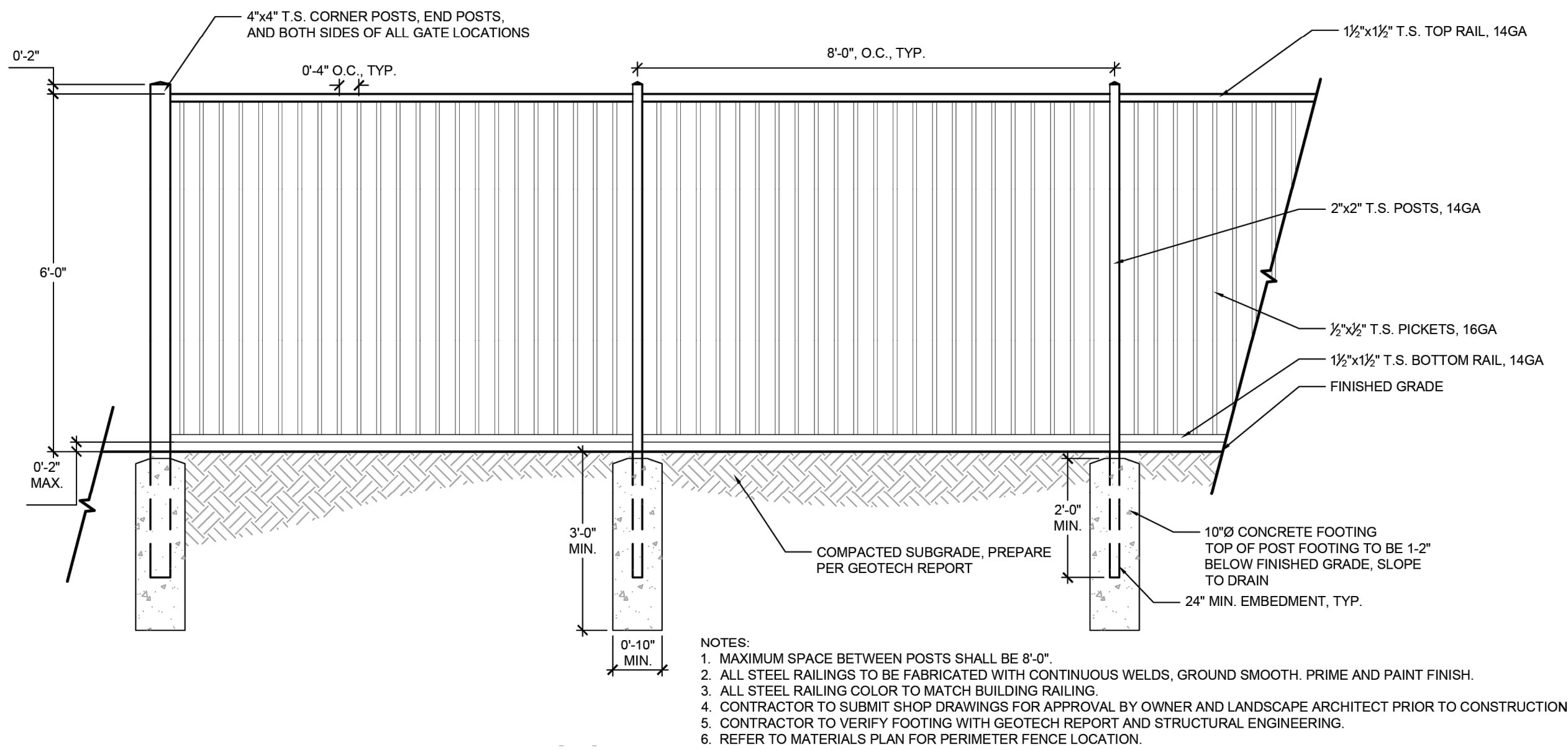


GENERAL LEGEND

USABLE OPEN SPACE

NOTES:
1. SEE CHART ON SHEET L-1.10 FOR QUANTITIES.



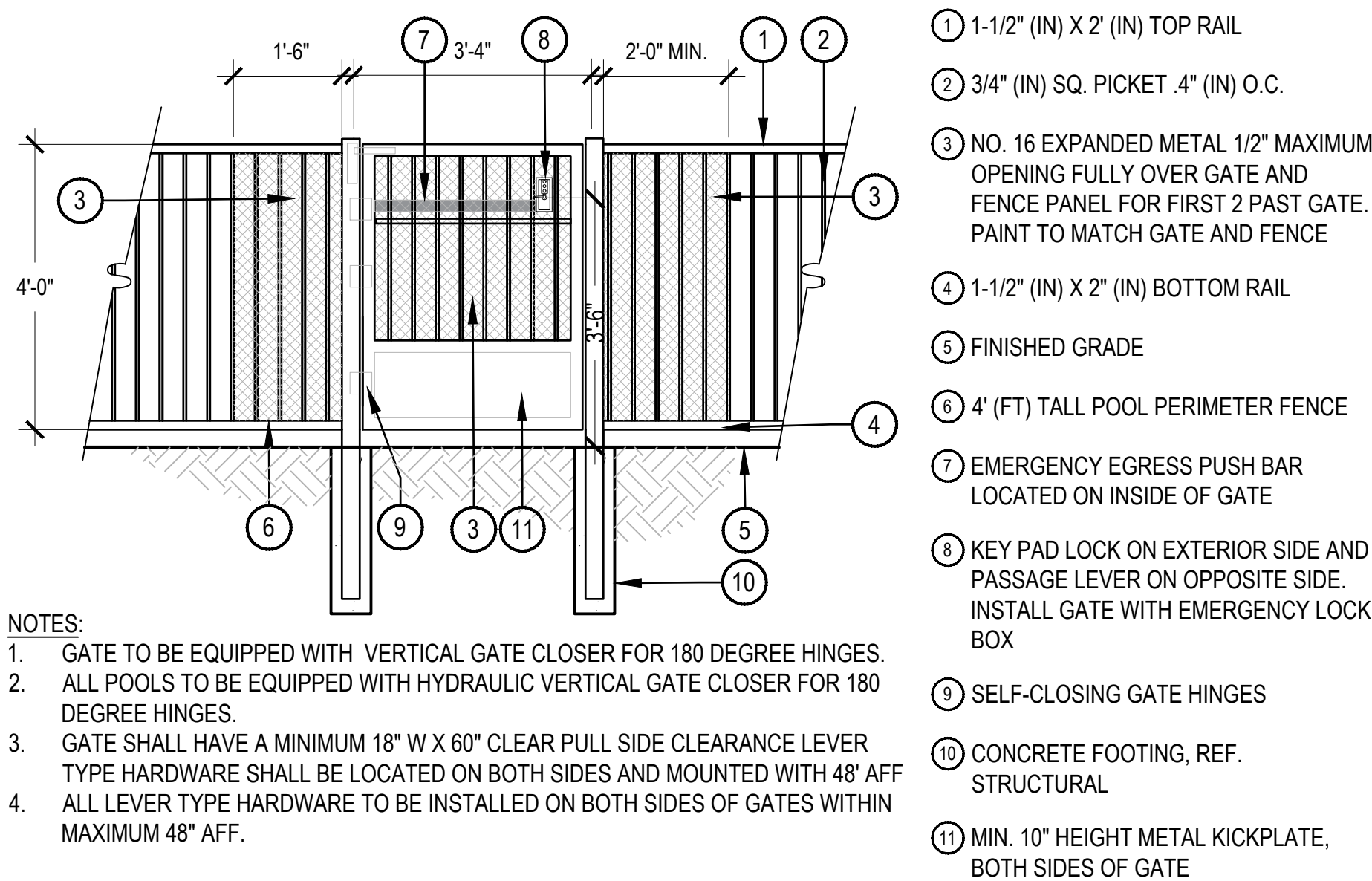


1 PERIMETER FENCE

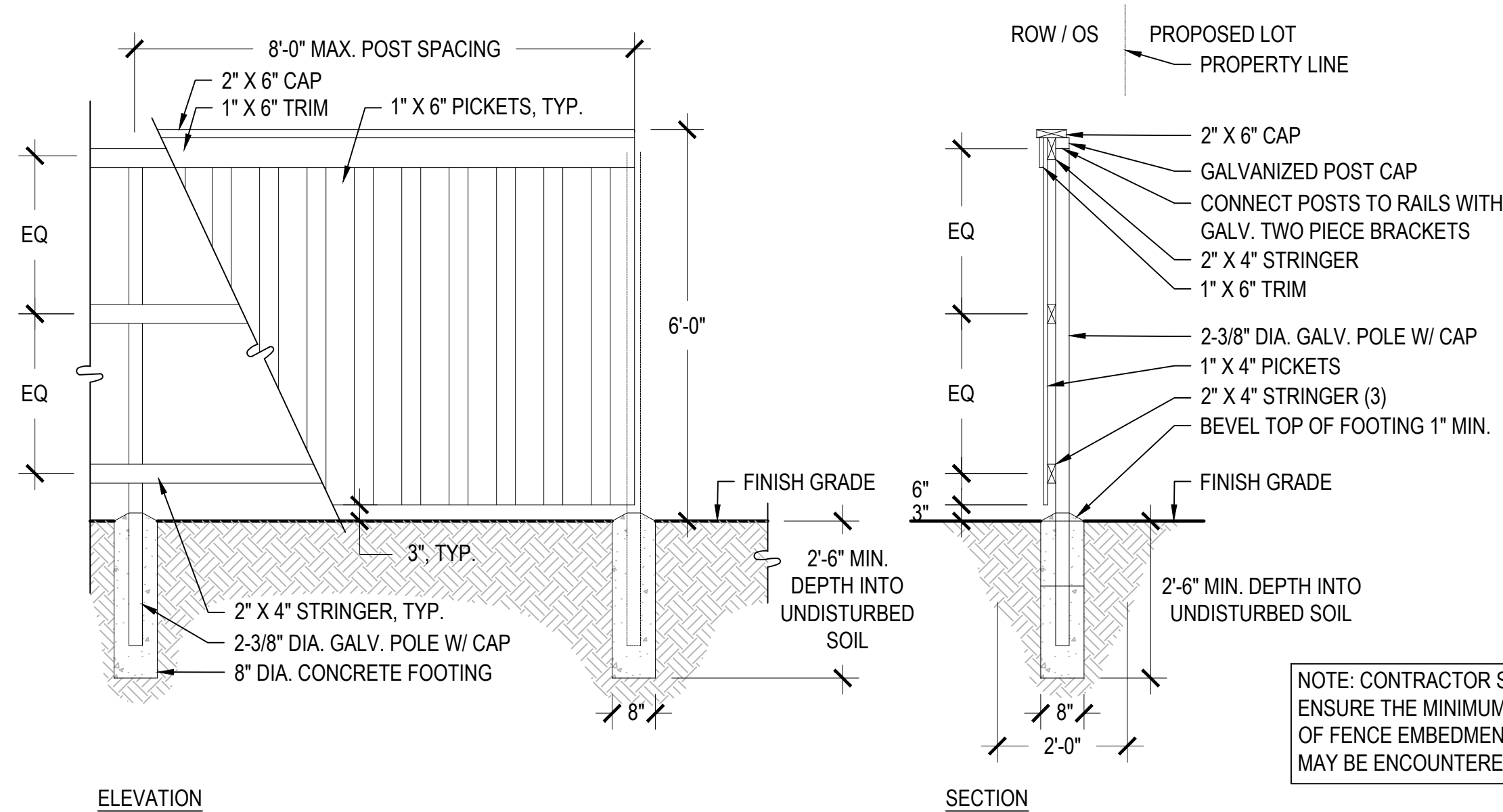
SCALE: 1/2" = 1'-0"

2 PERIMETER GATE

SCALE: 1/2" = 1'-0"



- NOTES:
1. NORRIS DESIGN HAS PROVIDED THIS DETAIL FOR REFERENCE PURPOSE, THIS DETAIL HAS NOT BEEN ENGINEERED.
2. NORRIS DESIGN IS NOT RESPONSIBLE FOR STRUCTURAL DESIGN AND CALCULATIONS.
3. ALL FENCE PANELS SHALL BE SET LEVEL WITH STEPS TO FOLLOW GRADE. THE MAXIMUM STEP SHALL BE 6". ADJUST POST SPACING AS NEEDED SO THERE IS NO GREATER THAN A 6" GAP FROM THE BOTTOM RAIL TO FINISH GRADE.
4. CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR APPROVAL BY OWNER.
5. GATES TO HAVE MIN. 18"W X 60"D NET CLEAR PULL SIDE CLEARANCE AND MIN. 12"W X 48"D NET CLEAR PUSH SIDE CLEARANCES.
6. GATE HARDWARE TO BE LEVER TYPE, LOCATED ON BOTH SIDES OF GATES, MOUNTED WITHIN 48" A.F.F., AND OPERATING FORCE NOT TO EXCEED MAX. 8.5 LBS.
7. STRUCTURAL PLANS, FOOTINGS, AND REINFORCEMENTS TO BE PROVIDED BY CONTRACTOR.
8. PICKET DIMENSIONS MEASURED TO CENTERLINE OF PICKET.
9. FENCE POLES AND STRINGERS TO BE MOUNTED TO THE INSIDE OF THE LOT TO NOT BE SEEN FROM A STREET OR DRIVE.



SCALE: 1/2" = 1'-0"

3 POOL FENCE & GATE

SCALE: 1/2" = 1'-0"

4 6' WOOD FENCE

SCENARIO	LAND USE	QUANTITY	DAILY TRIP ENDS (WEEKDAY)	AM PEAK HOUR TRIP ENDS (ADJACENT STREET PEAK)			PM PEAK HOUR TRIP ENDS (ADJACENT STREET PEAK)		
				In	Out	Total	In	Out	Total
Site Plan	Townhomes 164 Dwelling Units ITE LUC #215 (Single Family Attached)	164	1,199	20	60	80	56	39	94
	SubTotal		1,199	20	60	80	56	39	94
Scenario 1	3 Hotels 125 keys each ITE LUC #312 (Business Hotel)	375	1,508	53	82	135	64	52	116
	Retail/Medical Space 25,000 sqft ITE LUC #822 (Strip Retail Plaza <40k)	25	1,361	35	24	59	82	82	165
	SubTotal		2,869	88	106	194	146	135	281
Scenario 2	Retail 135,800 sqft ITE LUC #821 (Shopping Plaza 40-150k, Supermarket - Yes)	135.8	12,832	297	182	479	589	638	1,226
	SubTotal		12,832	297	182	479	589	638	1,226



May 19, 2025

Hello Members of the Planning & Zoning Commission for Roanoke, Texas!

My name is James Spitzer and I've had the pleasure of meeting recently with both Roanoke's City Manager, Cody Petree, and J.R. Hames, Development Services Manager, to review and discuss Chick-fil-A's reinvestment plans to purchase just over one-acre of adjoining property owned by an entity managed by Darrell Lake. Our existing CFA restaurant in Roanoke at 1300 N. Hwy 377 has consistently been a strong performing restaurant thanks to both the strong residential and business growth within the Roanoke community and surrounding trade area, and the excellent leadership and exceptional service from our Roanoke Operator Sandy Lamb and her team!

The primary purpose for my letter this evening to each of you Commissioners and Roanoke's Leadership is to express Chick-fil-A's strong support for Amending the existing Planned Development District Ordinance No. 2000-124 from Commercial Retail Zoning to allow for JPI's proposed \$80M quality development of 164 Residential attached Single-Family Townhomes and related Amenity Center/Clubhouse.

My first and foremost reason for Chick-fil-A's complete support for approving the Townhome development is JPI's significant financial commitment with a long-standing reputation as first-class Developer's to help the City of Roanoke, CFA and Roanoke residents solve the long-standing daily traffic congestion at the Hwy 377 & Marshall Creek intersection adjacent to our restaurant! We are excited and 100% onboard with JPI's plan to widen Marshall Creek east of Hwy 377 to install 2 left-turn lanes going southbound on Hwy 377 to help morning traffic flow, 1 thru lane for access to Briarwyck & Roanoke Elementary, and 1 right-turn lane for northbound traffic on Hwy 377. The Marshall Creek widening completion alone will be a tremendous benefit to Chick-fil-A, WalMart, and all the other retail/restaurant tenants near this intersection, as well as the residents of Roanoke!

Secondly, after reviewing the JPI Traffic Impact Analysis, the proposed 164 Townhomes to be developed on under 14-acres will generate significantly less additional traffic flow and daily trips at this already busy intersection than a traditional retail shopping center or potential Grocery tenant. A first-class, well-maintained Townhome development by JPI with only 164 units will be a more complimentary use for the existing Roanoke retail & restaurant tenants, without compounding the daily traffic congestion.

Lastly, JPI has a long-standing reputation as one of the premier Developer's in the country, and these Townhome Units should be excellent housing options for a diverse range of residential prospects looking to live in Roanoke from young couples with or without children. Also, these attractive Townhomes will be appealing to empty-nester residents of Roanoke ready to downsize and forego the burden of ongoing home maintenance! Either way, in my opinion the JPI Townhome development will be

a positive addition to the City of Roanoke, and Chick-fil-A welcomes their new residents as our future neighbors!!

Sincerely,

A handwritten signature in black ink, appearing to read "James Spitzer".

James Spitzer
Director, Real Estate
Chick-fil-A, Inc.
5200 Buffington Road
Atlanta, GA 30349

Chick-fil-A, Inc. | 5200 Buffington Road Atlanta, Georgia 30349-2998 | chick-fil-a.com | 404.765.8000



AGENDA ITEM

TO: Planning and Zoning Commission

SUBJECT: Site Plan (SP 2025-01) Liquor King

MEETING DATE: June 16, 2025

DEPARTMENT: Planning

ITEM SUMMARY:

Consideration and recommendation on a Site Plan (SP 2025-01) request from Bowman Consulting Group, LTD, for 2 buildings, a multi-tenant building and restaurant and bar to be located on an approximate 1.041 acre parcel, being a part of the Reno Red Addition, Block A Lot 1, City of Roanoke Denton County, Texas; generally located on the east of N Hwy 377 and on the west side of N Oak, south of Lamar Street.

INFORMATION:

The applicant is proposing two (2) buildings.

Building A: Fronting N Hwy 377- The proposed uses are a five-thousand-five-hundred (5,500) square-foot liquor store on the first floor and four-thousand-five-hundred (4,500) square feet of office space on the second floor.

Building B: Fronting Oak Street - The proposed uses are a four-thousand (4,000) square-foot restaurant on the first floor and a four-thousand (4,000) square-foot bar with patio on the second floor.

- **Landscape**- The plan demonstrates new permanently maintained landscaping.
- **Drainage**- A drainage plan will be accepted by the engineering consultant prior to construction.
- **Utilities**- A utility plan will be accepted by the engineering consultant prior to construction.
- **Parking**- The parking provided exceeds the required amount for the proposed uses. Required: 54 spaces Provided: 58 spaces

STAFF RECOMMENDATION:



AGENDA ITEM

It is the staff's recommendation to approve the site plan and design as submitted.

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. SP-2025-01 - 304 S HWY 377 - Liquor King
2. Liquor King Roanoke Pre-Development Set



CITY OF ROANOKE
500 S. OAK STREET
ROANOKE, TEXAS 76262
(817) 491-2411

SITE PLAN APPLICATION

FEE OF \$400.00 IS DUE WITH SUBMITTAL

Name of Applicant Curtis Young	Address of Applicant 1130 N. Carroll Ave, STE 200, Southlake, TX 76092	Phone Number and Email 817-424-2626
Legal Interest Owner's Representative		
Owner Mihir Varia/ LKING Estates, LLC	Address 2449 Crooked Lane, Southlake, TX 76092	Phone Number& Email 701-770-4071
Firm preparing Site Plan Package Integrated Design BIM Solutions, LLC Attn. Afrim Azizolli	Address 5000 Cedar Elm Dr., McKinney, TX 75070	Phone Number 214-930-1216
		Email afrimazizolli@gmail.com
Location of Property 304 S. Hwy 377, Roanoke, TX 76262	Name of Addition/Subdivision Reno Red Addition	Lot / Block Lot 1, Block A
		Present Zoning Oak Street Corridor Distri

Proposed Site Plan Contains:

LAND USE	NUMBER OF LOTS	ACRES FOR USE
Single Family		
Multi-Family		
Planned Development		
Office		
Retail	1	1.041
Commercial		
Industrial		
Flood Plain		

A copy of the final plat including public right-of-way crossing and adjacent property to the subject property shall be included.

If the property is subject to a Plan Development a statement showing that the proposed use conforms to the Plan Development.

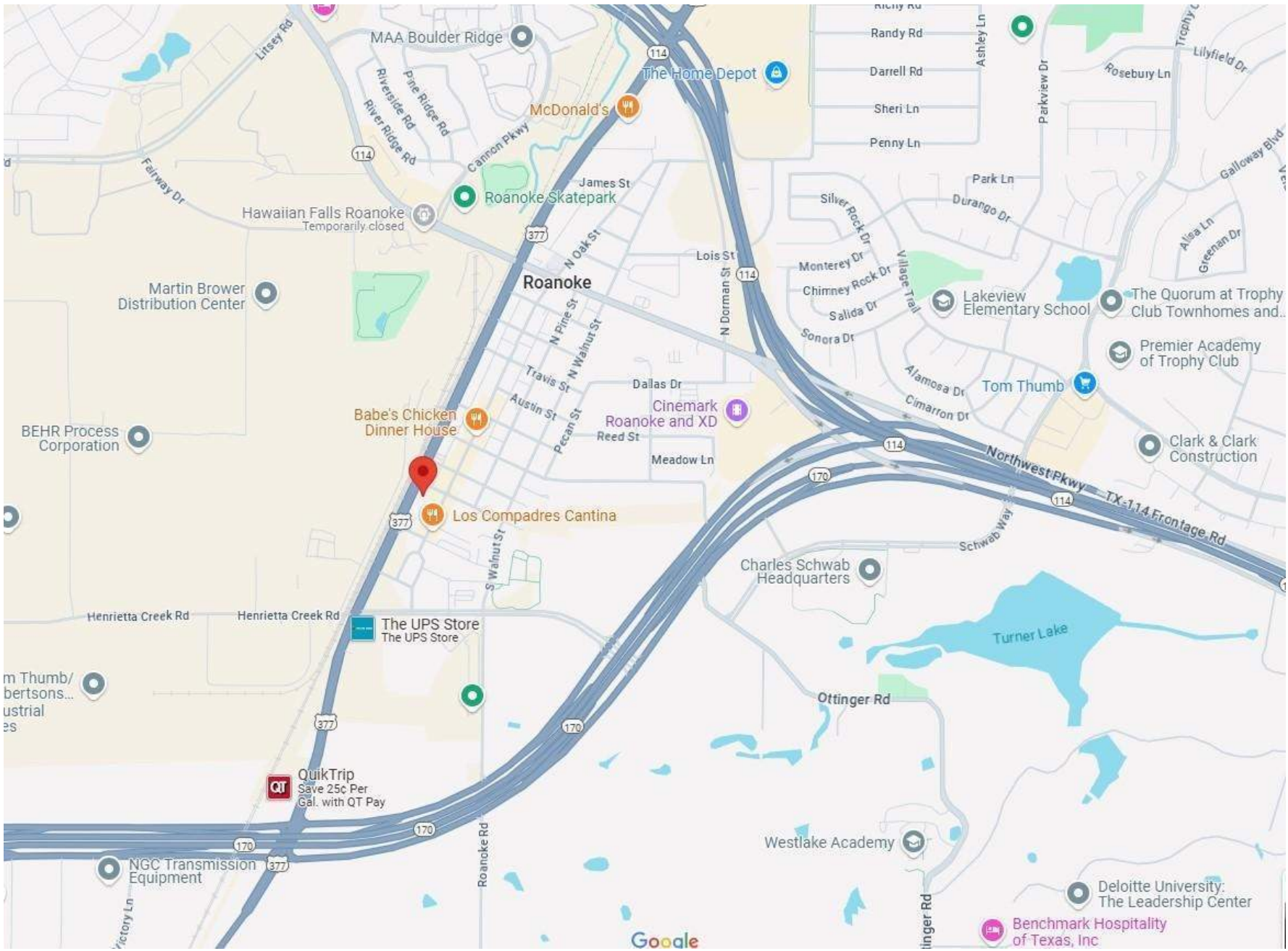
An electronic copy (pdf) Site Plan fee is \$400.00. Fees are subject to change as amended by Ordinance.


Applicants Signature
FOR OFFICE USE ONLY

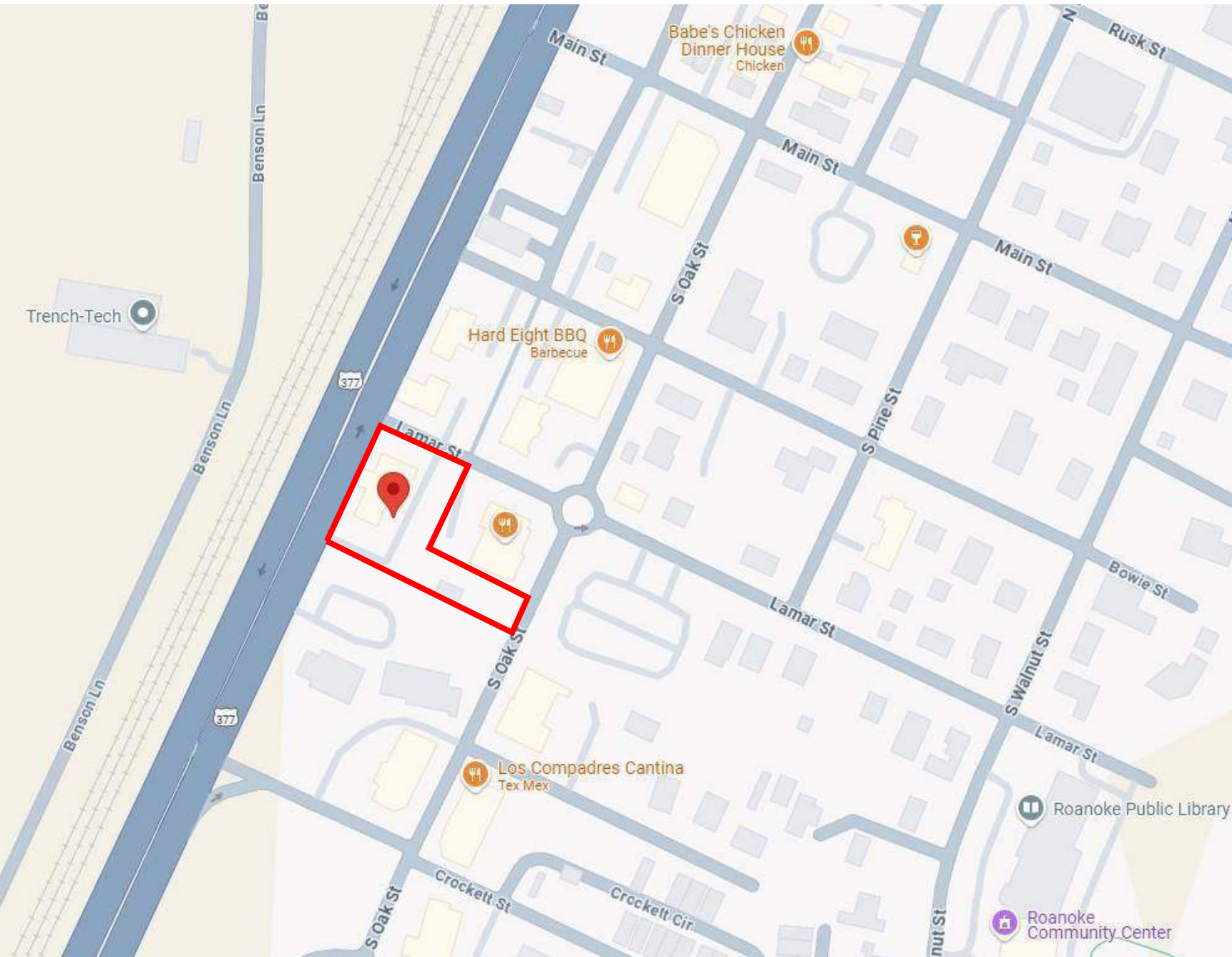
17 FEB 25
Date

Site Plan Fee PD VS \$400.00 02/27/2025 REC #759480 JM	P&Z Meeting <u>03/17/2025</u>	CC Meeting <u>03/25/2025</u>	File for Record SP- <u>2025</u> - <u>01</u>
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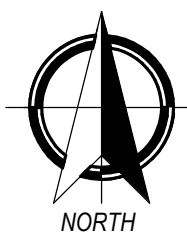
PROPOSED SITE PLAN FOR NEW LIQUOR KING - ROANOKE



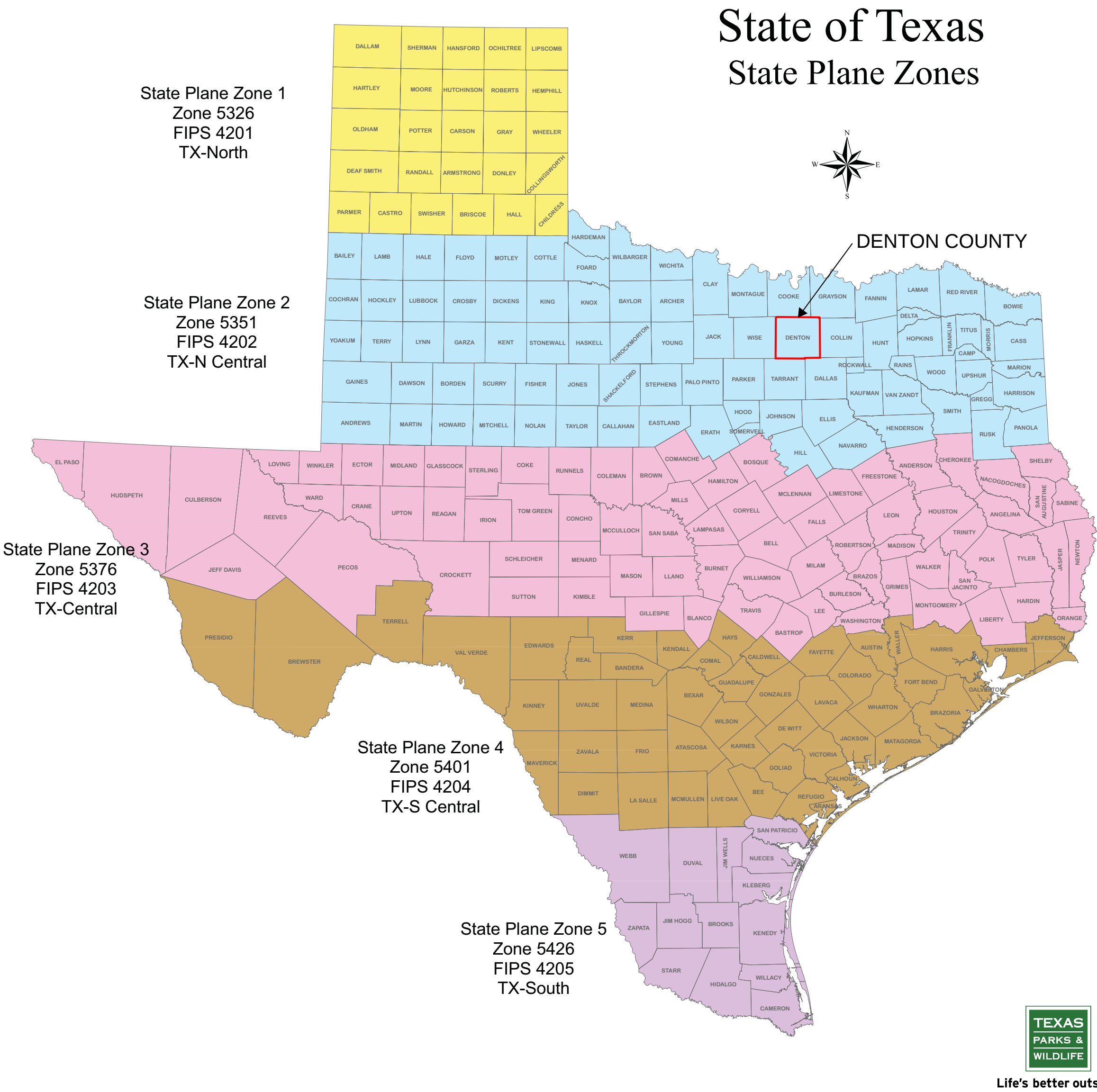
LOCATION MAP



VICINITY MAP



304 S Hwy 377
ROANOKE TX 76262



G0.0	COVER
G0.01	SITE DATA
G0.02	EXISTING SURVEY
A100	PROPOSED ANNOTATED SITE PLAN
A100.1	PROPOSED DIMENSIONED SITE PLAN
A100.2	OVERALL TRAFFIC SITE PLAN
A101	PROPOSED SITE PLAN BUILDING '1'
A102	PROPOSED SITE PLAN BUILDING '2'
A103	PROPOSED EXTERIOR ELEVATIONS BUILDING '1'
A104	PROPOSED EXTERIOR ELEVATIONS BUILDING '2'
A105	3D VIEWS BUILDING '1'
A106	3D VIEWS BUILDING '2'
AD100	DEMOLITION ARCHITECTURAL SITE PLAN
AD101	DEMOLITION ARCHITECTURAL SITE PLAN
L101	PROPOSED LANDSCAPE PLAN

"Site Plan Zoning Exhibit"

Project Name:	Liquor King
Acreage:	1.041 (45,334 S.F.)
Property Sq Ft:	6,123 Existing Restaurant
PROPOSED USE	10,000 S.F. New Liquor Store & Offices 8,800 S.F. New Restaurant & Bar Lounge (Including Outdoor Patios)
Subdivision:	DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT ¹
Legal Description:	Reno Red's Addition, LOT 1, Block A
Property ID:	2018-306
City of Roanoke:	Denton County
Submission Date:	April 21, 2025

OWNER

LIQUOR KING

2801 MacArthur Blvd,
Lewisville, TX 75067
(P) 972-459-4222
e-mail - mihir119@gmail.com
Contact: Mihir Varia, Owner

ENGINEER

2CMD Engineering
& Consulting, Inc.

1307 Hillary Lane
Arlington, TX 76012
(P) 817-459-1420
(F) 817-568-9113
Contact: Azeem Yasin, P.E.

SURVEY

Barron Stark
Engineers

Charles F Stark, RPLS
6221 Southwest Blvd, Suite 100
Fort Worth, TX 76132
(P) 817-231-8100
www.barronstark.com
Contact: Charles F Stark

DEVELOPER

TBD CONSTRUCTION LLC

Address, Suite ###
City, TX ZIP CODE
(P) ###-###-####
e-mail -
Contact: First Last Name,

PROPOSED SITE PLAN FOR NEW LIQUOR KING - ROANOKE

SITE DATA

SITE DATA SUMMARY TABLE

PROPOSED USE:	MIXED USE
SQUARE FEET BUILDING 1:	10,000 S.F. LIQUOR STORE AND BAR LOUNGE
SQUARE FEET BUILDING 2:	8,000 S.F. RESTAURANT AND OPEN LEASE SPACE

NO AREA INCREASE PROPOSED

EXISTING ZONING DISTRICT:	COMMERCIAL/RETAIL
GROSS SITE AREA:	1.041 ACRES
REQUIRED LANDSCAPE AREA:	(N/A)
PROVIDED LANDSCAPE AREA:	0.167 ACRES (16%)
LOT COVERAGE:	84%
FLOOR AREA RATIO (FAR):	0.41

SETBACKS:

FRONT	10 FT.
SIDE INTERIOR	15 FT.
SIDE STREET	15 FT.
REAR	25 FT.

(REFER TO SURVEY DRAWING FOR ADDITIONAL INFO)

BUILDING HEIGHT:	
FIRST FLOOR HEIGHT	MIN. 15' - 0" CLEAR
UPPER FLOOR	MIN. 10' - 0" CLEAR

BUILDING FRONTAGE

MIN. OF 70% OF THE BUILDING FACADE SHALL BE BUILT ALONG OAK STREET WITHIN THE BUILT-TO-ZONE

MIN. OF 50% OF THE BUILDING SHALL BE BUILT TO THE BUILT-TO-ZONE ALONG HWY 377

EXISTING PARKING SPACES:

STANDARD ACCESSIBLE	58 ON SITE & 7 ON STREET = 65 3 ON SITE
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TOTAL PARKING SPACES: 65

PARKING SPACES REQUIRED:	1/350 S.F.
	54 SPACES REQUIRED
	65 SPACES PROVIDED

"Site Plan Zoning Exhibit"

Project Name:	Liquor King
Acreage:	1.041 (45,334 S.F.)
Property Sq Ft:	6,123 Existing Restaurant
PROPOSED USE	10,000 S.F. New Liquor Store & Offices 8,000 S.F. New Restaurant & Bar Lounge
Subdivision:	DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT ¹
Legal Description:	Reno Red's Addition, LOT 1, Block A
Property ID:	2018-306
City of Roanoke:	Denton County
Submission Date:	April 21, 2025



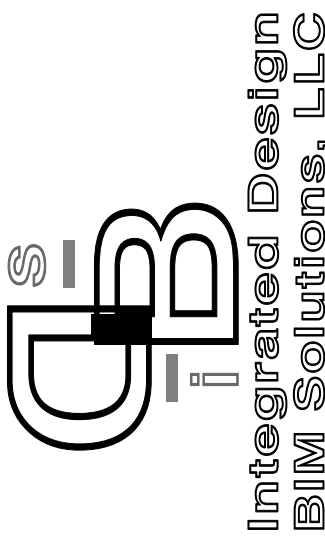
SITE LOCATION



ZONING DATA



ZONING DISTRICTS 300 FEET ADJACENT TO PROPERTY



NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

RELEASE:
No. Description Date

SITE DATA

Project number	2024-064
Date	03.30.2025
Drawn by	Author
Checked by	Checker

G0.01

Scale	1/8" = 1'-0"
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Page 24 of 35

SYMBOLS LEGEND

- Sanitary Sewer Manhole
- Sanitary Clean Out
- Septic Lid
- Gas Manhole
- Telephone Manhole
- Telephone Pedestal
- Communication Vault
- Water Meter
- Storm Drain Manhole
- Mail Box
- Electric Transformer Site
- Water Valve
- Fire Hydrant
- Power Pole
- Guy Anchor
- Sign
- AT & T Pin Flag Marker
- Water Manhole
- Light Pole / Signal Pole
- Bollard Protection Post
- Parking Count
- Indicates Building Height Measurement Point

FLOOD NOTE:

ACCORDING TO FLOOD INSURANCE RATE MAP (FIRM) MAP NO. 48121C0655G FOR THE CITY OF ROANOKE WITH AN EFFECTIVE DATE OF 04/18/2011 AND PREPARED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA); THIS PROPERTY LIES WITHIN THE NON-SHADED ZONE "X" AREA, DEFINED BY FEMA AS AN AREA DETERMINED TO BE OUTSIDE THE 500-YEAR FLOOD LEVEL, DETERMINED BY SCALING AND GRAPHICAL PLOTTING ONLY. SURVEYOR MAKES NO GUARANTEE AS TO THE ACCURACY OF THAT MAP.

GENERAL NOTES:

- NOT ALL LOT LINES OUTSIDE OF THE BOUNDARY OF THE SUBJECT PROPERTY SHOW HEREON HAVE BEEN SURVEYED AND ARE SHOWN AS GRAPHICAL DEPICTION BASED ON RECORDED INFORMATION AND TAX MAPS ONLY.
- SURVEYOR DID NOT ABSTRACT THE SUBJECT TRACT. THERE MAY BE EASEMENTS OR OTHER ENCUMBRANCES THAT AFFECT THE SUBJECT TRACT THAT ARE NOT SHOWN HEREON.
- SITE HAS DIRECT PHYSICAL ACCESS TO E. LANCASTER AVE, BOSWELL DRIVE & BUTTERCUP LANE
- THE RECORD DESCRIPTION OF PROPERTY MATHEMATICALLY CLOSES WITH NO GAPS, GORES OR OVERLAPS.

GRAPHIC SCALE 1"=20'

20 0 20 40

Compass Rose showing North (N), South (S), East (E), and West (W).

Barron-Stark Engineers

6221 Southwest Boulevard, Suite 100
Fort Worth, Texas 76132
(O) 817.231.8100 (F) 817.231.8144
Texas Registered Engineering Firm F-10998
Texas Registered Survey Firm F-10158800
www.barronstark.com



TABLE A NOTES

- Site address - 304 S Hwy 377, Roanoke, TX 76262.
- See flood note on this sheet.
- Gross land area - subject property contains **45,334 square feet** or **1.041 acres** of land.
- 6(a). No zoning report was furnished to surveyor at the time of the survey.
- 6(b). No zoning report was furnished to surveyor at the time of the survey.
- 7(a). Exterior dimensions and areas of all buildings are shown on face of survey.
- 7(b)(1). See on face of survey.
- 7(c). See on face of survey.
- Substantial features are plotted and shown hereon.
- There are a total of 39 parking spaces of which 2 are handicapped.
- There was no party walls observed on at the time of the survey.
- Names of adjoining property and/or platted lots are shown hereon.
- No evidence of recent earth moving work, building construction, or building additions observed in the process of conducting the fieldwork.
- No proposed changes in street right of way lines was made available to the surveyor by the controlling jurisdiction and no evidence of recent street or sidewalk construction or repairs were observed in the process of conducting the fieldwork.
- Offsite and adjoining easements shown hereon

SCHEDULE B NOTES

This Survey was prepared from a Title Policy Prepared by Fidelity National Title Insurance Company, GF No. FTDAL-34-9000342400361, Effective Date: August 19, at 8:00 a.m.

10h.) Building Lines and Easement(s) for the purpose(s) shown below and rights incidental thereto as delineated or as offered for dedication, on the map of said tract/plat recorded under Clerk's File No. 2018-306 Plat Records, Denton County, Texas;

- 10' Building Line
- 15' Building Line
- 10' Build-to-Zone
- 15' Sanitary Sewer Easement
- 12.5' M.A.E.

(AFFECTS, PLOTTED & SHOWN)

10i.) Easement(s) and rights incidental thereto, as granted in a document:
Granted to: Texas Power & Light Company
Purpose: As provided in said document
Recording Date: August 16, 1926
Recording No: Volume 205, Page 560, Real Property Records, Denton County, Texas (MAY AFFECT, DOCUMENT IS AMBIGUOUS)

10j.) Easement(s) and rights incidental thereto, as granted in a document:
Granted to: Texas Power & Light Company
Purpose: As provided in said document
Recording Date: December 20, 1961
Recording No: Volume 475, Page 641, Real Property Records, Denton County, Texas (MAY AFFECT, DOCUMENT IS AMBIGUOUS)

10k.) Easement(s) for the purpose(s) shown below and rights incidental thereto as condemned by an instrument.
Entitled: Agreed Final Judgment
Court: Probate Court
Cause No.: PR-2016-00415
In favor of: the State of Texas
Purpose: temporary easement (Parcel 4TE)
Recording Date: November 13, 2020
Recording No: under Clerk's File No. 2020-184739, Real Property Records, Denton County, Texas, and a certified copy of which is filed January 7, 2022, recorded under Clerk's File No. 2022-4235, Real Property Records, Denton County, Texas.
(AFFECTS, PLOTTED & SHOWN)

Record & Field Notes Description:

BEING Lot 1, Block A, of Reno Red's Addition, an addition to the City of Roanoke, Denton County, Texas, according to the plat thereof recorded under Clerk's File No. 2018-306, Plat Records, Denton County, Texas;

Save and Except the tract of 0.044 of an acre tract, in fee simple, awarded to the State of Texas by the Agreed Final Judgment under Cause No. PR-2016-00415, of which, the certified copy is filed on November 13, 2020, under Clerk's File No. 2020-184739, Real Property Records, Denton County, Texas, and a certified copy of which is filed January 7, 2022, recorded under Clerk's File No. 2022-4235, Real Property Records, Denton County, Texas.

Vicinity Map



To: Hard Sun II Incorporated; Mission Line Enterprises, LLC as there interests may appear; Maahi LLC and/or assign; and Fidelity National Title Insurance Company.

This is to certify this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Survey, jointly established and adopted by ALTA and NSPS, and includes Items 2, 3, 4, 6(a), 6(b), 7(a), 7(b)(1), 8, 9, 10, 13, 16, 17 and 19 of Table A thereof. The fieldwork was completed on September 17, 2024.

Charles F Stark 09/23/2024
Charles F. Stark, RPLS
Texas Registration No. 5084



USE OF THIS ELECTRONIC SEAL/SIGNATURE AUTHORIZED BY CHARLES F. STARK, RPLS, TEXAS REGISTRATION NO. 5084

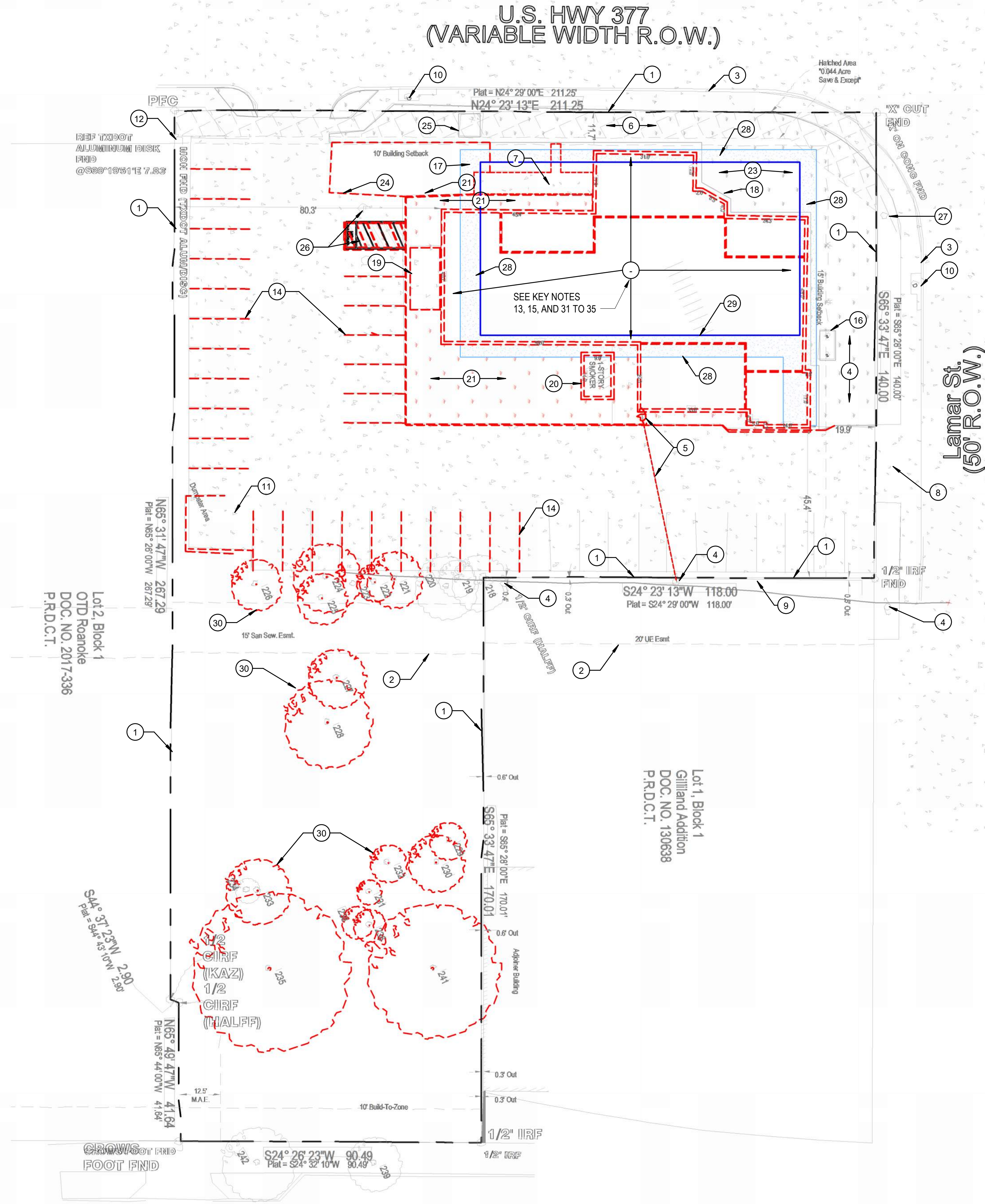
ALTA/NSPS Land Title Survey

Lot 1, Block A, of Reno Red's Addition,
an addition to the City of Roanoke, Denton County, Texas,
according to the plat thereof
recorded under Clerk's File No. 2018-306,
Plat Records, Denton County, Texas.
Situated In the D. Hoover Survey, Abstract No. 603

EXISTING BUILDING INFO

LOCATION: 304 US-377 ROANOKE TX 76262

EXISTING BUILDING ONE STORY CINDER BLOCK BUILDING
BUILDING HEIGHT = 11.6' FFE = 649.354' (6.123 S.F.)



DEMOLITION SITE PLAN GENERAL NOTES

1. ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS: CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS. IF CONFLICT OCCURS, CONTACT DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF WORK.
2. DO NOT SCALE DRAWINGS.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. NOTIFY DESIGNER/ENGINEER IF DISCREPANCIES ARISE IN THE FIELD WHICH MAY ALTER DESIGN PRIOR TO COMMENCEMENT OF WORK.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL AND GENERAL CONSTRUCTION WORK SHOWN AT VARIOUS LOCATIONS THROUGHOUT THE DRAWINGS WHETHER OR NOT CROSS-REFERENCED. EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL ITEMS MAY OCCUR WHICH ARE NOT SHOWN ON PLANS.
5. ALL DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS, HAVING JURISDICTION OVER THIS PROJECT.
6. REMOVE ALL EXISTING SITE DEBRIS AND OTHER ASSOCIATED ITEMS THROUGHOUT THE SCOPE OF WORK.
7. PRIOR TO REMOVAL OF EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL, FIXTURES, TELEPHONE BOXES, POWER POLES, LIGHT POLES OR OTHER ASSOCIATED ITEMS, TERMINATE SERVICE, REMOVE FITTINGS AND ALL ASSOCIATED ITEMS. DISCONNECT AND CAP LINES, REMOVE UNUSED LINES TO THE FULLEST EXTENT POSSIBLE, AT LEAST TO BELOW SUBSTRATE OF SCHEDULED WORK.
8. ALL DEMOLITION WORK REQUIRED IS NOT LIMITED TO THAT INDICATED ON PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, PLUMBING, ELECTRICAL, AND DESIGNER/ENGINEER ITEMS TO FACILITATE NEW CONSTRUCTION. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
9. ANY WORK WHICH INTERFERES, OR CAUSES INTERRUPTION OF SERVICES, INCLUDING THE SHUTDOWN OF UTILITIES, SHALL BE PERFORMED AT A TIME APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
10. PRIOR TO DEMOLITION, CONTRACTOR SHALL INSPECT ALL AREAS IN WHICH WORK WILL BE PERFORMED. DOCUMENT ALL PROPERTIES WHICH MAY BE CONSTRUED AS DAMAGE RESULTING FROM DEMOLITION AND NOTIFY DESIGNER/ENGINEER PRIOR TO STARTING WORK.
11. NOTIFY DESIGNER/ENGINEER IF ANY EXISTING ITEMS, OR DRAWING DISCREPANCIES, CONFLICT WITH THE INTENDED FINAL PRODUCT PRIOR TO DEMOLITION OR CONSTRUCTION.
12. THE EXISTING SITE INFORMATION SHOWN WAS COMPILED FROM DRAWINGS FURNISHED BY THE SURVEYOR. ACTUAL CONDITIONS MAY VARY. CONTRACTOR IS TO VERIFY ALL CONDITIONS PRIOR TO START OF WORK.
13. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION, AS REQUIRED, TO PROTECT ALL PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DURING DEMOLITION AND CONSTRUCTION.
14. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, DAMAGE, OR COLLAPSE OF EXISTING OR NEW STRUCTURES, FINISHES, UTILITIES, AND OTHER ITEMS DURING DEMOLITION OR CONSTRUCTION WORK.
15. ALL AREAS EXISTING TO REMAIN SHALL BE PROTECTED AND IF DAMAGED, SHALL BE PATCHED, REPAIRED, AND FINISHED, OR REPLACED, TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.
16. CONTRACTOR TO PROTECT ADJACENT PROPERTIES FROM EXCESSIVE DUST, DEBRIS, NOISE, OR DISRUPTION OF DAILY OPERATIONS.
17. ALL DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION SHALL BE CLEARED AND REMOVED FROM SITE ON A DAILY BASIS.
18. IN ADDITION TO WORK SHOWN ALTERING EXISTING CONSTRUCTION, ALL HOLES AND OPENINGS CREATED BY DEMOLITION, OR REMOVAL, SHALL BE PATCHED, REPAIRED, AND MADE READY FOR NEW CONSTRUCTION.

DEMOLITION PLAN KEY NOTES

1. EXISTING PROPERTY LINE
2. EXISTING EASEMENT TO REMAIN
3. EXISTING SIDEWALK TO REMAIN
4. EXISTING POWER POLE/O H. POWER TO REMAIN
5. EXISTING POWER POLE/O H. POWER TO BE DEMOLISHED
6. EXISTING LANDSCAPE TO REMAIN THIS AREA.
7. REMOVE EXISTING PAVING AND ASSOCIATED ITEMS. PREP AREA TO RECEIVE NEW CONSTRUCTION
8. EXISTING CONCRETE APRON TO REMAIN
9. EXISTING SITE FENCING AND ASSOCIATED ITEMS TO REMAIN
10. EXISTING STORM DRAIN AND ASSOCIATED ITEMS TO REMAIN. PROTECT TO FULLEST EXTENT DURING CONSTRUCTION
11. EXISTING DUMPSTER TO BE REMOVED
12. EXISTING TXDOT ALUM/DISC TO REMAIN. PROTECT TO FULLEST EXTENT DURING CONSTRUCTION
13. REMOVE EXISTING BUILDING AND ASSOCIATED ITEMS. PREP EXISTING CONCRETE SITE TO RECEIVE NEW CONCRETE SITE CONSTRUCTION
14. REMOVE EXISTING PARKING STRIPING
15. REMOVE EXISTING ANTIQUE ITEMS. COORDINATE WITH THE OWNER
16. EXISTING GREASE INTERCEPTOR TO REMAIN. PROTECT TO FULLEST EXTENT DURING CONSTRUCTION
17. REMOVE PORTION OF EXISTING PARKING; PREP AREA TO RECEIVE NEW CONSTRUCTION
18. REMOVE/RELOCATE EXISTING SITE ITEMS THIS AREA AS REQUIRED FOR NEW CONSTRUCTION. COORDINATE WITH THE OWNER. PREP AREA TO RECEIVE NEW CONSTRUCTION
19. REMOVE EXISTING CONCRETE APRON AND ASSOCIATED ITEMS. PREP AREA TO RECEIVE NEW CONSTRUCTION
20. REMOVE EXISTING ONE STORY SMOKER. PREP AREA TO RECEIVE NEW CONSTRUCTION
21. REMOVE EXISTING LANDSCAPING THIS AREA. PREP AREA TO RECEIVE NEW CONSTRUCTION
22. REMOVE EXISTING WOOD CURB AND ASSOCIATED ITEMS FULL WIDTH. PREP AREA TO RECEIVE NEW CONSTRUCTION
23. PORTION OF EXISTING LANDSCAPE TO BE REMOVED
24. REMOVE PORTION OF CONCRETE. PREP AREA TO RECEIVE NEW CONSTRUCTION.
25. EXISTING CONCRETE CULVERT AND INLET TO REMAIN.
26. REMOVE EXISTING ACCESSIBLE AISLE STRIPING. PREP AREA TO RECEIVE NEW ACCESSIBLE AISLE STRIPING
27. EXISTING SIGNAGE TO REMAIN
28. LIGHT BLUE HATCHED AREA INDICATES FUTURE CONCRETE SIDEWALK; PREP AREA TO RECEIVE NEW CONSTRUCTION.
29. BLUE LINE INDICATES EXTENTS OF PROPOSED FUTURE CONSTRUCTION FOOTPRINT
30. REMOVE EXISTING TREES
31. REMOVE CONCRETE AND ALL FLOORING TO ALLOW FOR NEW FOUNDATION.
32. EXISTING EXTERIOR DOOR/WINDOW/STOREFRONT TO BE DEMOLISHED.
33. REMOVE ALL INTERIOR PARTITION WALLS, DOORS, AND ANY ASSOCIATED MEP CONNX..
34. REMOVE ALL MILLWORK AND ANY ASSOCIATED MECHANICAL, ELECTRICAL AND PLUMBING CONNECTIONS.
35. REMOVE ALL KITCHEN EQUIPMENT. REMOVE COOLER&FREEZER.

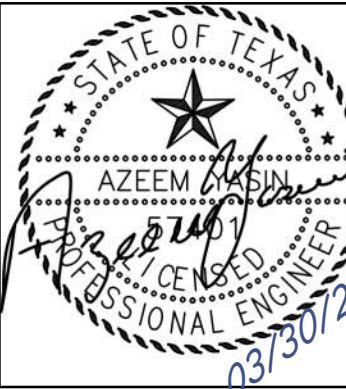
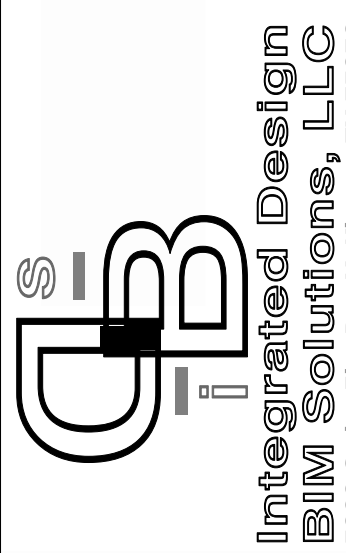
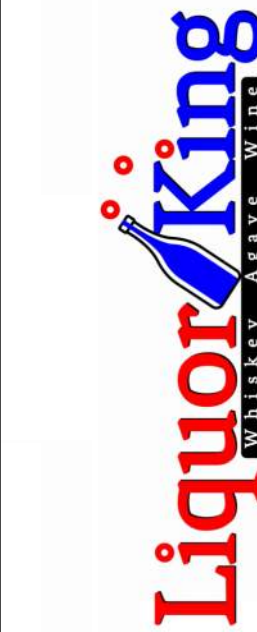
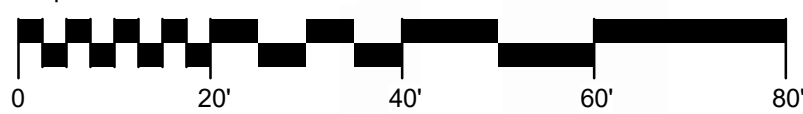
LEGEND

- INDICATES ITEM TO BE DEMOLISHED
- INDICATES ITEM TO REMAIN

DEMOLITION PLAN

1" = 20'-0"

Graphic Scale: 1 inch = 20 feet



DEMOLITION FOR NEW LIQUOR KING - ROANOKE

304 S Hwy 377
ROANOKE TX 76262

RELEASE:

No. Description Date

DEMOLITION PLAN

Project number 2024-064

Date 03.30.2025

Drawn by AA

Checked by AA

AD-100

Scale As indicated

EXISTING BUILDING INFO

LOCATION: 304 US-377 ROANOKE TX 76262

EXISTING BUILDING ONE STORY CINDER BLOCK BUILDING
BUILDING HEIGHT = 11'.6" FFE = 649.354' (6.123 S.F.)

NOTE:

SHADED AREA (IN RED) INDICATES EXISTING BUILDING
TO BE DEMOLISHED ENTIRELY



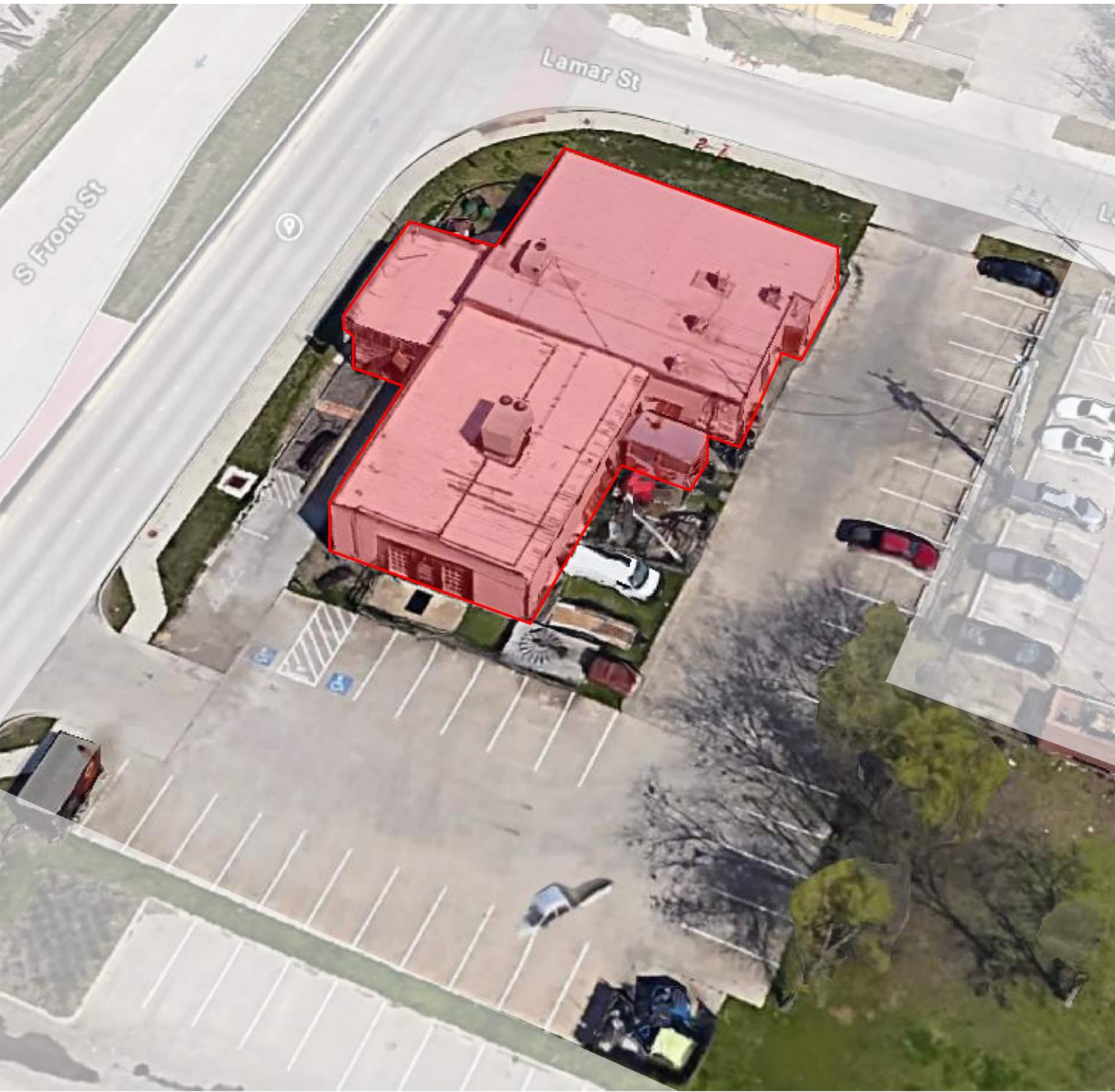
NORTH EAST



SOUTH EAST



NORTH WEST



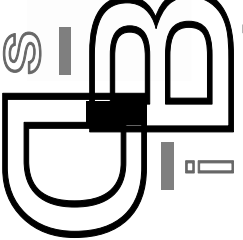
SOUTH WEST

DEMOLITION SITE PLAN GENERAL NOTES

1. ATTENTION ALL USERS OF THESE DRAWINGS, GENERAL CONTRACTORS, SUB-CONTRACTORS, MANUFACTURERS AND SUPPLIERS: CAREFULLY AND THOROUGHLY REVIEW THESE GENERAL NOTES. IT IS YOUR RESPONSIBILITY TO KNOW AND ADHERE TO THESE REQUIREMENTS, IF CONFLICT OCCURS, CONTACT DESIGNER/ENGINEER PRIOR TO COMMENCEMENT OF WORK.
2. DO NOT SCALE DRAWINGS.
3. FIELD VERIFY EXISTING CONDITIONS PRIOR TO DEMOLITION WORK. NOTIFY DESIGNER/ENGINEER IF DISCREPANCIES ARISE IN THE FIELD WHICH MAY ALTER DESIGN PRIOR TO COMMENCEMENT OF WORK.
4. GENERAL CONTRACTOR SHALL COORDINATE ALL EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL AND GENERAL CONSTRUCTION WORK SHOWN AT VARIOUS LOCATIONS THROUGHOUT THE DRAWINGS WHETHER OR NOT CROSS-REFERENCED. EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL ITEMS MAY OCCUR WHICH ARE NOT SHOWN ON PLANS.
5. ALL DEMOLITION WORK SHALL COMPLY WITH ALL APPLICABLE BUILDING CODES, FEDERAL, STATE, AND LOCAL CODES AND REGULATIONS, HAVING JURISDICTION OVER THIS PROJECT.
6. REMOVE ALL EXISTING SITE DEBRIS AND OTHER ASSOCIATED ITEMS THROUGHOUT THE SCOPE OF WORK.
7. PRIOR TO REMOVAL OF EXISTING MECHANICAL, PLUMBING, SEWER, ELECTRICAL, FIXTURES, TELEPHONE BOXES, POWER POLES, LIGHT POLES OR OTHER ASSOCIATED ITEMS, TERMINATE SERVICE, REMOVE FITTINGS AND ALL ASSOCIATED ITEMS, DISCONNECT AND CAP LINES, REMOVE UNUSED LINES TO THE FULLEST EXTENT POSSIBLE, AT LEAST TO BELOW SUBSTRATE OF SCHEDULED WORK.
8. ALL DEMOLITION WORK REQUIRED IS NOT LIMITED TO THAT INDICATED ON PLAN. THE INTENT IS TO REMOVE ALL MECHANICAL, PLUMBING, ELECTRICAL, AND DESIGNER/ENGINEER ITEMS TO FACILITATE NEW CONSTRUCTION. PATCH AND REPAIR AS REQUIRED TO ACCOMMODATE NEW CONSTRUCTION.
9. ANY WORK WHICH INTERFERES, OR CAUSES INTERRUPTION OF SERVICES, INCLUDING THE SHUTDOWN OF UTILITIES, SHALL BE PERFORMED AT A TIME APPROVED BY THE OWNER OR OWNERS REPRESENTATIVE.
10. PRIOR TO DEMOLITION, CONTRACTOR SHALL INSPECT ALL AREAS IN WHICH WORK WILL BE PERFORMED. DOCUMENT ALL PROPERTIES WHICH MAY BE CONSTRUED AS DAMAGE RESULTING FROM DEMOLITION AND NOTIFY DESIGNER/ENGINEER PRIOR TO STARTING WORK.
11. NOTIFY DESIGNER/ENGINEER IF ANY EXISTING ITEMS, OR DRAWING DISCREPANCIES, CONFLICT WITH THE INTENDED FINAL PRODUCT PRIOR TO DEMOLITION OR CONSTRUCTION.
12. THE EXISTING SITE INFORMATION SHOWN WAS COMPILED FROM DRAWINGS FURNISHED BY THE SURVEYOR. ACTUAL CONDITIONS MAY VARY. CONTRACTOR IS TO VERIFY ALL CONDITIONS PRIOR TO START OF WORK.
13. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION, AS REQUIRED, TO PROTECT ALL PERSONNEL AND THE GENERAL PUBLIC FROM INJURY DURING DEMOLITION AND CONSTRUCTION.
14. PROVIDE SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, DAMAGE, OR COLLAPSE OF EXISTING OR NEW STRUCTURES, FINISHES, UTILITIES, AND OTHER ITEMS DURING DEMOLITION OR CONSTRUCTION WORK.
15. ALL AREAS EXISTING TO REMAIN SHALL BE PROTECTED AND IF DAMAGED, SHALL BE PATCHED, REPAIRED, AND FINISHED, OR REPLACED, TO MATCH EXISTING ADJACENT SURFACES AT NO ADDITIONAL COST TO THE OWNER.
16. CONTRACTOR TO PROTECT ADJACENT PROPERTIES FROM EXCESSIVE DUST, DEBRIS, NOISE, OR DISRUPTION OF DAILY OPERATIONS.
17. ALL DEBRIS CAUSED BY DEMOLITION AND CONSTRUCTION SHALL BE CLEARED AND REMOVED FROM SITE ON A DAILY BASIS.
18. IN ADDITION TO WORK SHOWN ALTERING EXISTING CONSTRUCTION, ALL HOLES AND OPENINGS CREATED BY DEMOLITION, OR REMOVAL, SHALL BE PATCHED, REPAIRED, AND MADE READY FOR NEW CONSTRUCTION.



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Integrated Design
BIM Solutions, LLC
5000 Cedar Elm Dr., McKinney, TX 75070


STATE OF TEXAS
AZEEEM AZEEM
Professional Engineer
03/30/2025

DEMOLITION FOR NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

RELEASE:
No. Description Date

DEMOLITION 3D
VIEWS

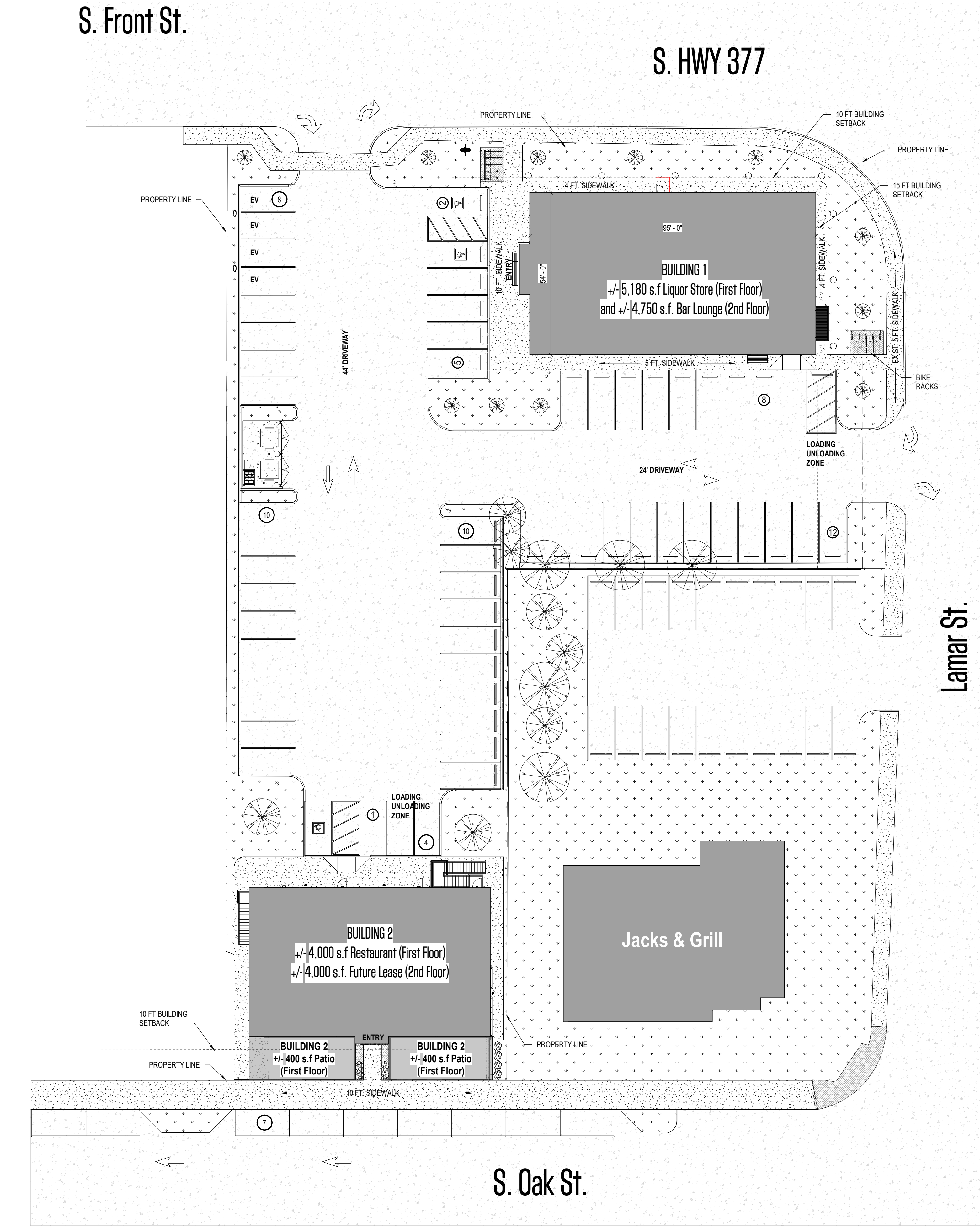
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Date	03.30.2025
Drawn by	AA
Checked by	AA

AD-101

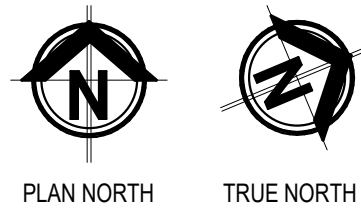
Scale As indicated

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Page 27 of 35



1 OVERALL PROPOSED ANNOTATED SITE PLAN
SCALE: 1" = 20'-0"
Graphic Scale: 1 inch = 20 feet



BUILDING 1 PROJECT INFO & PLANS AREAS	
LOCATION:	304 US-377 ROANOKE TX 76262
NEW CONSTRUCTION	FIRST FLOOR - LIQUOR STORE SECOND FLOOR - OFFICES
OVERALL CONDITIONED LIVING AREAS UNDER ROOF	
FIRST FLOOR HVAC GROSS AREA	5,180 S.F.
SECOND FLOOR HVAC GROSS AREA	4,750 S.F.
TOTAL GROSS HVAC AREA	9,930 S.F.

BUILDING 2 PROJECT INFO & PLANS AREAS	
LOCATION:	304 US-377 ROANOKE TX 76262
NEW CONSTRUCTION	FIRST FLOOR - RESTAURANT SECOND FLOOR - FUTURE LEASE
OVERALL CONDITIONED LIVING AREAS UNDER ROOF	
FIRST FLOOR HVAC GROSS AREA	4,000 S.F.
SECOND FLOOR HVAC GROSS AREA	1,660 S.F.
TOTAL GROSS HVAC AREA	5,660 S.F.
UNCONDITIONED PATIO AREA	
FIRST FLOOR OUTDOOR PATIO	1,020 S.F.
SECOND FLOOR OUTDOOR PATIO	2,120 S.F.
TOTAL PROPOSED S.F.	8,800 S.F.

PARKING TABULATIONS:

BUILDING 1 AREA =	10,000 S.F.
BUILDING 2 AREA =	8,800 S.F. (INCLUDING OUTDOOR PATIOS)
TOTAL BUILDINGS AREAS =	18,800 S.F.
TOTAL PARKING SPACES REQUIRED:	18,800 S.F. / 350 S.F. = 54 SPACES
PARKING SPACES PROVIDED:	58 SPACES ON SITE, 54 REGULAR & 4 E.V. SPACES
PARKING SPACES PROVIDED:	7 SPACES ON STREET
PARKING SPACES PROVIDED:	65 SPACES TOTAL
ACCESSIBLE REQUIRED	1 PER 25 = 3 SPACES
ACCESSIBLE PROVIDED	3 SPACES ON SITE

"Site Plan Zoning Exhibit"

Project Name:	Liquor King
Acreage:	1.041 ACRES (45,334 S.F.)
Property Sq Ft:	6,123 Existing Restaurant
PROPOSED USE	10,000 S.F. New Liquor Store & Offices 8,800 S.F. New Restaurant & Bar Lounge (Including Outdoor Patios)
Subdivision:	DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT ¹
Legal Description:	Reno Red's Addition, LOT 1, Block A
Property ID:	2018-306
City of Roanoke:	Denton County
Submission Date:	December 5, 2024

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BIM Solutions, LLC
5000 Cedar Elm Dr., McKinney, TX 75070

STATE OF TEXAS
AZEEM AZEEM
Professional Engineer
04/20/2025

NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

RELEASE:
No. Description Date

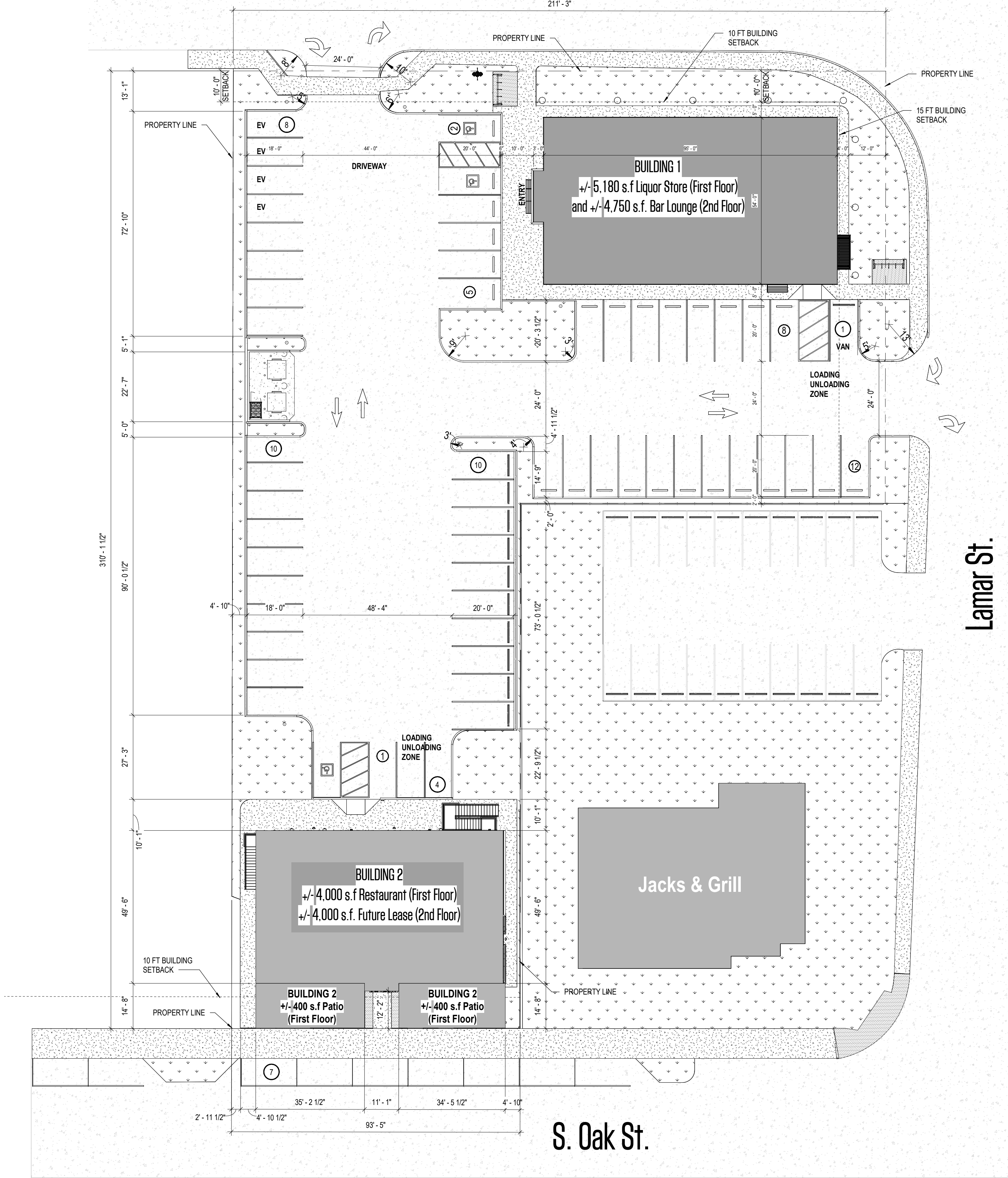
PROPOSED ANNOTATED SITE PLAN

Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

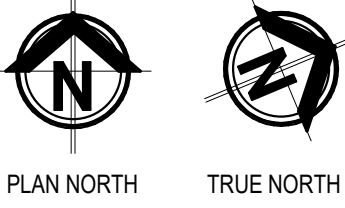
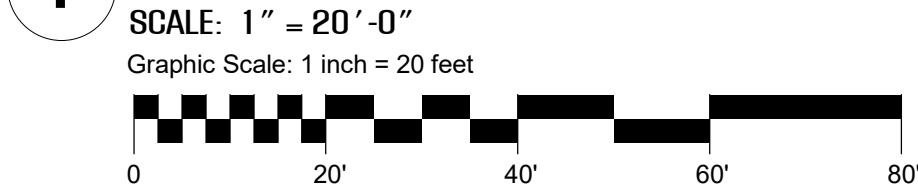
A100
Scale 1" = 20'-0"

S. Front St.

S. HWY 377



1 OVERALL PROPOSED DIMENSIONED SITE PLAN



BUILDING 1
PROJECT INFO & PLANS AREAS

LOCATION:	304 US-377 ROANOKE TX 76262
NEW CONSTRUCTION	FIRST FLOOR - LIQUOR STORE SECOND FLOOR - BAR LOUNGE
OVERALL CONDITIONED LIVING AREAS UNDER ROOF	
FIRST FLOOR HVAC GROSS AREA	5,180 S.F.
SECOND FLOOR HVAC GROSS AREA	4,750 S.F.
TOTAL GROSS HVAC AREA	9,930 S.F.

BUILDING 2
PROJECT INFO & PLANS AREAS

LOCATION:	304 US-377 ROANOKE TX 76262
NEW CONSTRUCTION	FIRST FLOOR - RESTAURANT SECOND FLOOR - BAR HOOKAH LOUNGE
OVERALL CONDITIONED LIVING AREAS UNDER ROOF	
FIRST FLOOR HVAC GROSS AREA	4,000 S.F.
SECOND FLOOR HVAC GROSS AREA	1,660 S.F.
TOTAL GROSS HVAC AREA	5,660 S.F.
UNCONDITIONED PATIO AREA	
FIRST FLOOR OUTDOOR PATIO	1,020 S.F.
SECOND FLOOR OUTDOOR PATIO	2,120 S.F.
TOTAL PROPOSED S.F.	8,800 S.F.

PARKING TABULATIONS:

BUILDING 1 AREA	= 10,000 S.F.
BUILDING 2 AREA	= 8,800 S.F. (INCLUDING OUTDOOR PATIOS)
TOTAL BUILDINGS AREAS	= 18,800 S.F.
TOTAL PARKING SPACES REQUIRED:	18,800 S.F. / 350 S.F. = 54 SPACES
PARKING SPACES PROVIDED:	58 SPACES ON SITE, 54 REGULAR & 4 E.V. SPACES
PARKING SPACES PROVIDED:	7 SPACES ON STREET
PARKING SPACES PROVIDED:	65 SPACES TOTAL
ACCESSIBLE REQUIRED	1 PER 25 = 3 SPACES
ACCESSIBLE PROVIDED	3 SPACES ON SITE

"Site Plan Zoning Exhibit"

Project Name:	Liquor King
Acreage:	1.041 ACRES (45,334 S.F.)
Property Sq Ft:	6,123 Existing Restaurant
PROPOSED USE	10,000 S.F. New Liquor Store & Offices 8,800 S.F. New Restaurant & Bar Lounge (Including Outdoor Patios)
Subdivision:	DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT ¹
Legal Description:	Reno Red's Addition, LOT 1, Block A
Property ID:	2018-306
City of Roanoke:	Denton County
Submission Date:	November 25, 2024

NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

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AZEEM@2CMDINC.COM

5000 Cedar Elm Dr., McKinney, TX 75070

RELEASE:
No. Description Date

PROPOSED
DIMENSIONED SITE
PLAN

Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

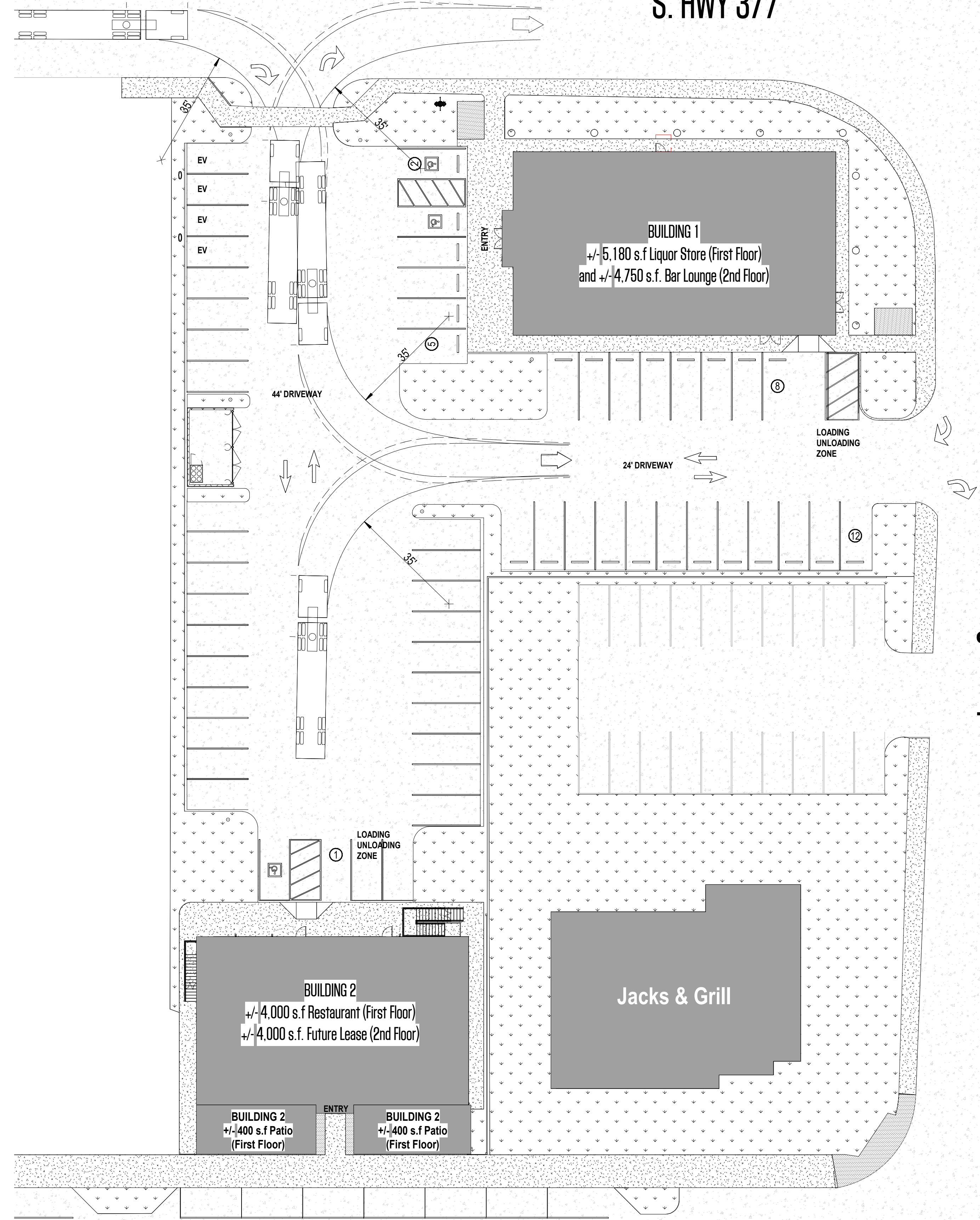
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Scale 1" = 20'-0"

S. Front St.

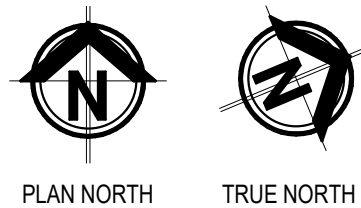
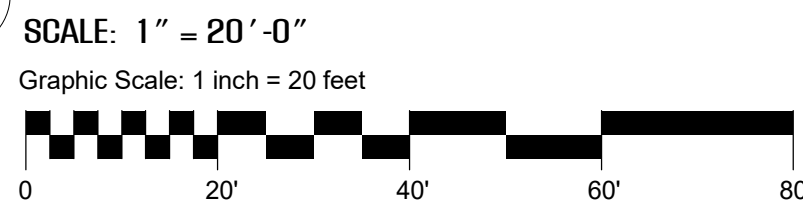
S. HWY 377

Lamar St.

S. Oak St.



1 OVERALL SITE PLAN-TRAFFIC CIRCULATION



- A. ACCESSIBLE PARKING SPACES AND UNLOADING ZONES SHALL NOT SLOPE MORE THAN 1:48 (2.08%) IN ANY DIRECTION.
- B. ACCESSIBLE ROUTES SHALL NOT SLOPE MORE THAN 1:20 (5%) IN THE DIRECTION OF TRAVEL OR 1:48 (2.08%) PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- C. WHERE ACCESSIBLE ROUTES CHANGE DIRECTION, THE LANDING AREA SHALL NOT SLOPE MORE THAN 1:48 (2.08%) IN ANY DIRECTION.
- D. ACCESSIBLE ROUTES SHALL NOT BE LESS THAN 3'-0" WIDE PERPENDICULAR TO THE DIRECTION OF TRAVEL.
- E. SURFACES ALONG THE ACCESSIBLE ROUTE SHALL BE SMOOTH WITH NO CHANGES IN LEVEL EXCEEDING 1/4". TRANSITIONS BETWEEN MATERIALS ALONG AN ACCESSIBLE ROUTE SHALL BE FLUSH.
- F. REFER TO SECTION 4 IN THE LATEST EDITION OF THE TEXAS ACCESSIBILITY STANDARDS FOR FURTHER REQUIREMENTS FOR ACCESSIBLE ROUTES.

"Site Plan Zoning Exhibit"

Project Name:	Liquor King
Acreage:	1.041 (45,334 S.F.)
Property Sq Ft:	6,123 Existing Restaurant
PROPOSED USE	10,000 S.F. New Liquor Store & Offices 8,800 S.F. New Restaurant & Bar Lounge (Including Outdoor Patios)
Subdivision:	DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT ¹
Legal Description:	Reno Red's Addition, LOT 1, Block A
Property ID:	2018-306
City of Roanoke:	Denton County
Submission Date:	December 5, 2024

#F-007510

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Integrated Design
BIM Solutions, LLC

5000 Cedar Elm Dr., McKinney, TX 75070

NEW LIQUOR KING - ROANOKE

304 S Hwy 377
ROANOKE TX 76262

RELEASE:

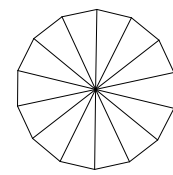
No.	Description	Date
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OVERALL TRAFFIC
SITE PLAN

Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

A100.2

Scale 1" = 20'-0"



PC	14	CHINESE PISTACHE	PISTACIA CHINENSIS	B & B	4" CAL	12'-0" TO 14'-0" HT	
DAM	?	DAMIANITA	CHRYSACTINIA MEXICANA	3 GAL		12"-24"	2' OC.
GCM	?	GULF COAST MUHLY	MUHLENBERGIA CAPILLARS	3 GAL	18"-20"	15"-18"	3' OC.
IH	?	INDIAN HAWTHORNE	MUHLENBERGIA LINDHEIMERI 'AUTUMN GLOW' TM	5 GAL			2' OC.
LAN	?	TEXAS LANTANA	LANTANA URTICOIDES	3 GAL	20"-24"	FULL	3' OC.
YS	?	YAUPON SHRUB	SALVIA GREGGII 'RED'	3 GAL	24"-48"	3 GAL	5' OC.

*Tree images by Robert O'Brien, texasreplanting.tamu.edu



CHINESE PISTACHE
DAMIANITA
GULF COAST MUHLY

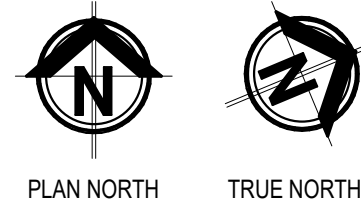
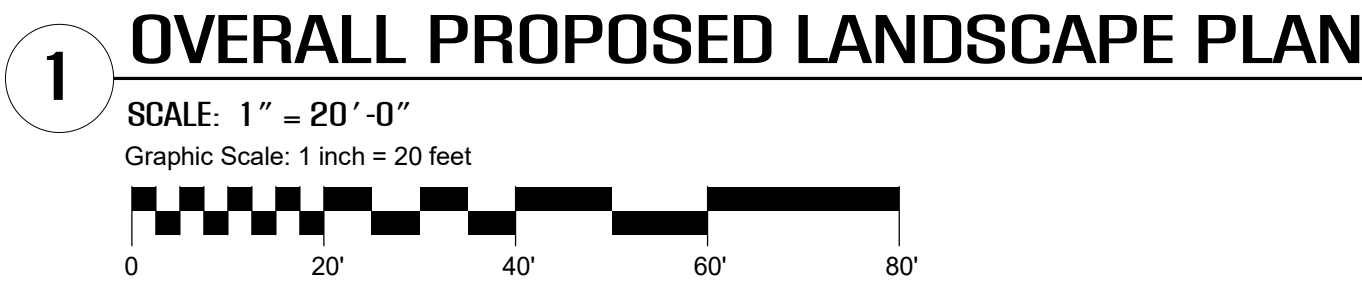


TEXAS LANTANA
YAUPON SHRUB

- NEW BUILDING
- NEW CONCRETE SIDEWALK
- NEW PERMEABLE PAVING
- NEW CONCRETE FLAT WORK
- PROPERTY LINE
- ACCESSIBLE PARKING SIGN
- ACCESSIBLE PARKING SYMBOL

S. Front St.

S. HWY 377



PLAN NORTH
TRUE NORTH

REQUIRED LANDSCAPING

10% OF THE TOTAL DEVELOPMENT LOT AREA SHALL BE LANDSCAPED & PERMANENTLY MAINTAINED.

LANDSCAPE REQUIRED: 45,334 SF SITE - 18, 000 BLDG SF x 10% = 2,734 SF

LANDSCAPE PROVIDED: = 6,806 SF

PARKING TABULATIONS:

BUILDING 1 AREA = 9,930 S.F.
BUILDING 2 AREA = 8,800 S.F. (INCLUDING OUTDOOR PATIOS)
TOTAL BUILDINGS AREAS = 18,730 S.F.
TOTAL PARKING SPACES REQUIRED: 18,800 S.F. / 350 S.F. = 54 SPACES

PARKING SPACES PROVIDED: 60 SPACES ON SITE, 56 REGULAR & 4 E.V. SPACES
PARKING SPACES PROVIDED: 7 SPACES ON STREET
PARKING SPACES PROVIDED: 67 SPACES TOTAL
ACCESSIBLE REQUIRED: 1 PER 25 = 3 SPACES
ACCESSIBLE PROVIDED: 3 SPACES ON SITE

"Site Plan Zoning Exhibit"

Project Name: Liquor King

Acreage: 1.041 ACRES (45,334 S.F.)

Property Sq Ft: 6,123 Existing Restaurant

PROPOSED USE 10,000 S.F. New Liquor Store & Offices
8,800 S.F. New Restaurant & Bar Lounge
(Including Outdoor Patios)

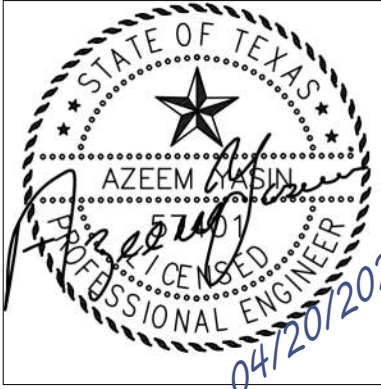
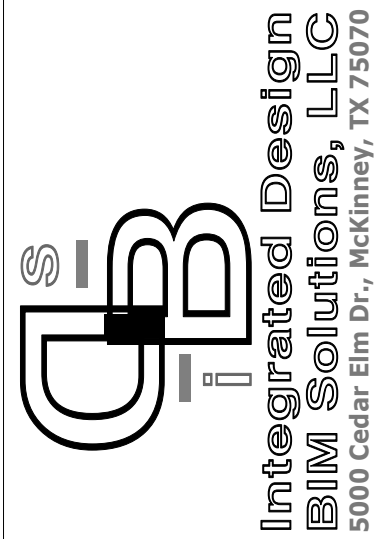
Subdivision: DIVISION 15. OAK STREET CORRIDOR ZONING DISTRICT¹

Legal Description: Reno Red's Addition, LOT 1, Block A

Property ID: 2018-306

City of Roanoke: Denton County

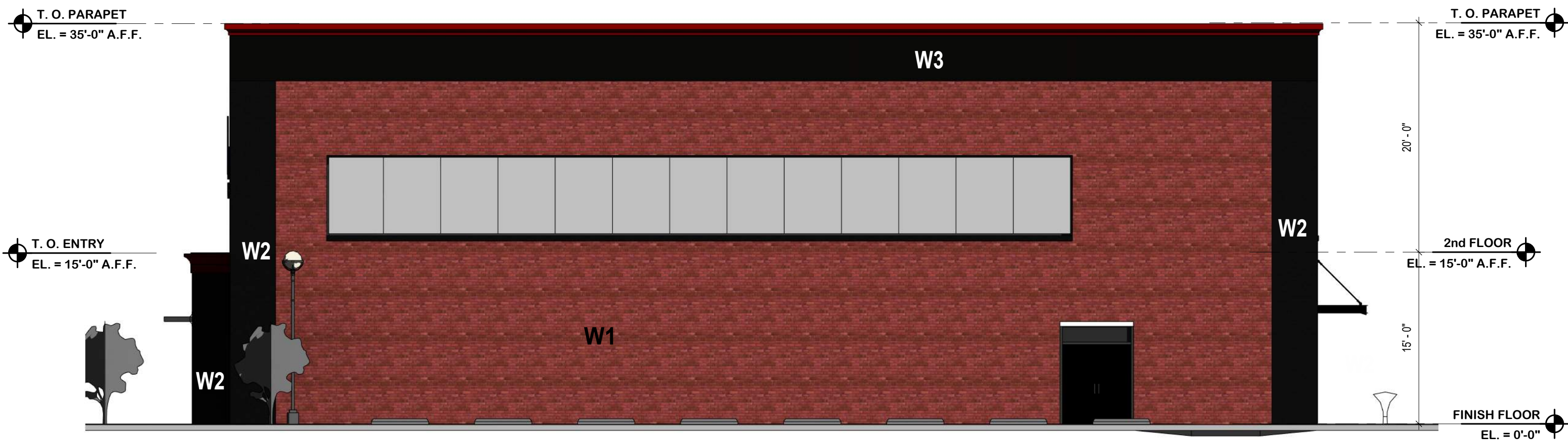
Submission Date: April 21, 2025



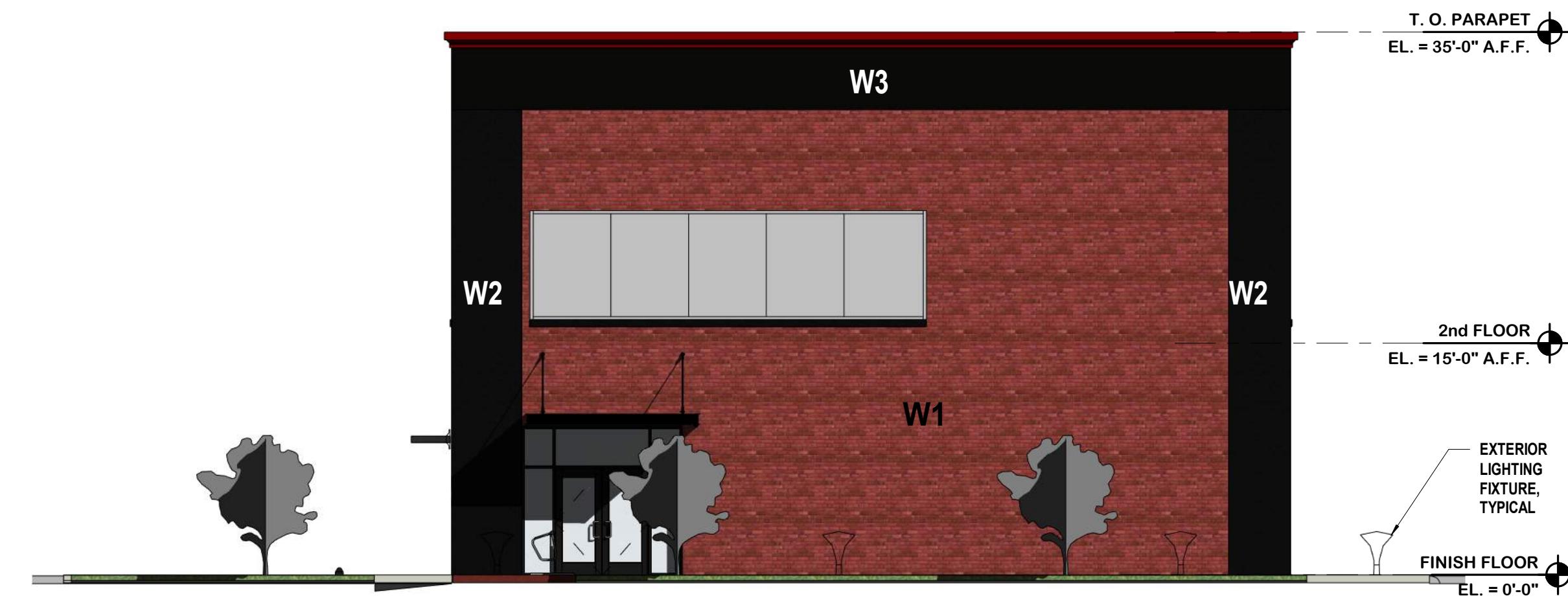
NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

RELEASE:
No. Description Date

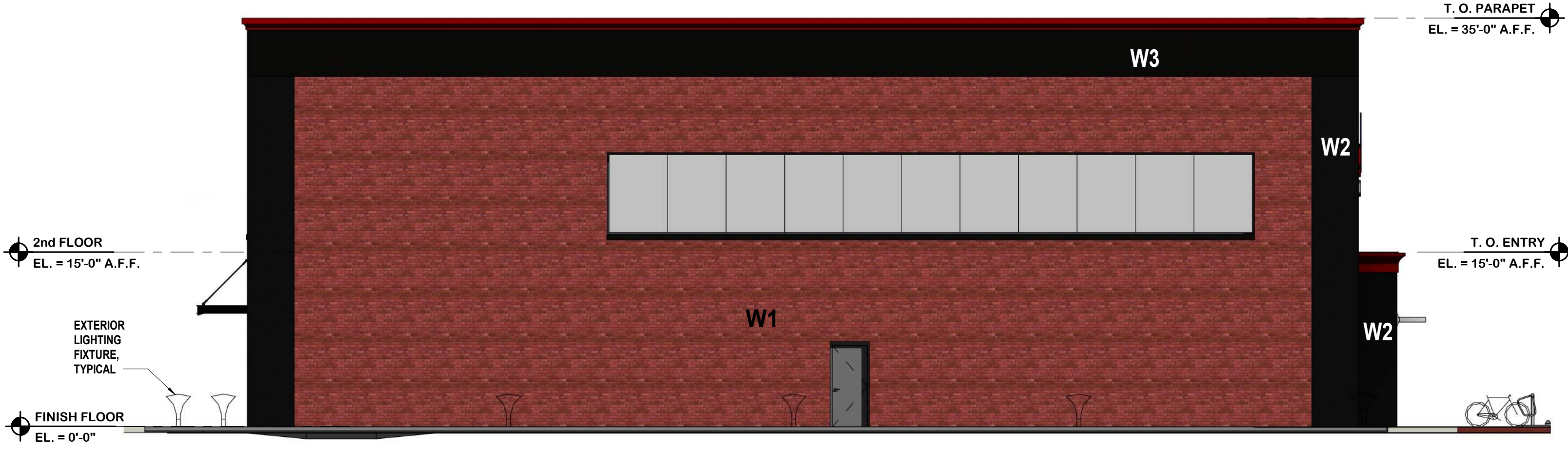
PROPOSED LANDSCAPE PLAN	
Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA
L101	
Scale	As indicated



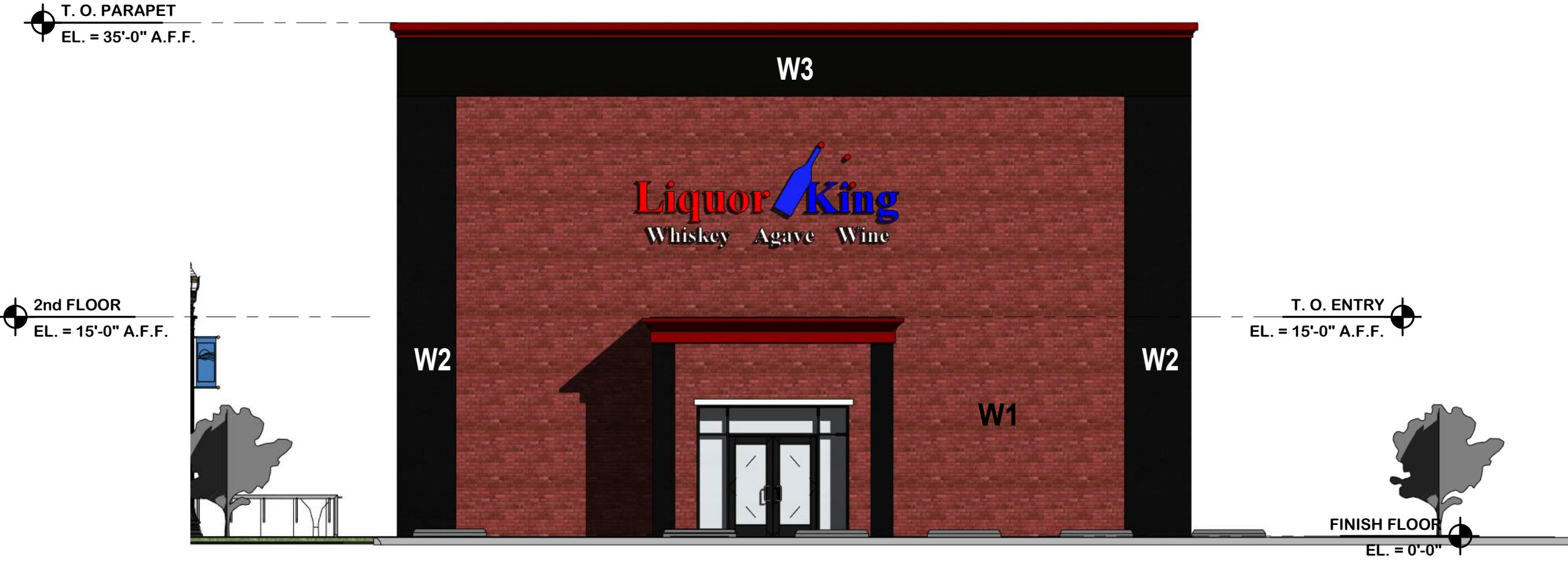
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SCALE: 1/8" = 1'-0"



2 EXTERIOR ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0"

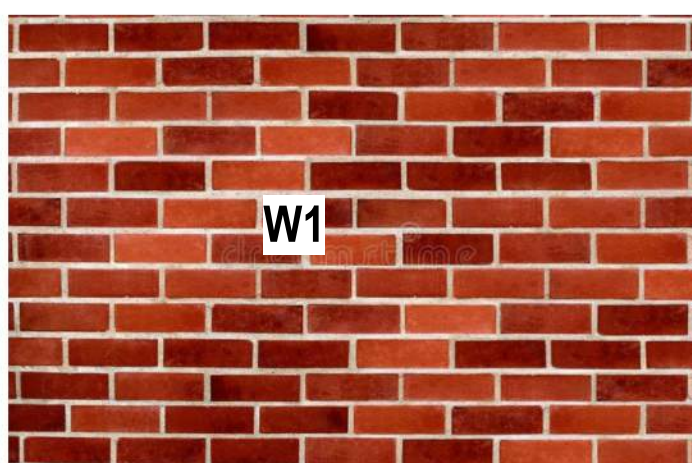


3 EXTERIOR ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0"



4 EXTERIOR ELEVATION BUILDING 1
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS/FACADE MATERIALS KEY



NATURAL RED BRICK VENEER
(all PERIMETER WALLS)

ANTICO ELEMENTS

877-326-8426 /
support@anticoelements.com



Onyx Standard Black Colored Brick

<https://www.realstonesystems.com/product/onyx-standard-brick>



"The Black Rock" - Corrugated Metal Siding Panels with DualCoat™ - Loose Metal

<https://barrierbossusa.com/products/matte-black-corrugated-metal-siding-sheet-7-8-gauge>

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AZEEM@2CNDINC.COM

Integrated Design
BIM Solutions, LLC
5000 Cedar Elm Dr., McKinney, TX 75070

NEW LIQUOR KING - ROANOKE

304 S HWY 377
ROANOKE TX 76262

RELEASE:

No.	Description	Date
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PROPOSED
EXTERIOR
ELEVATIONS
BUILDING '1'

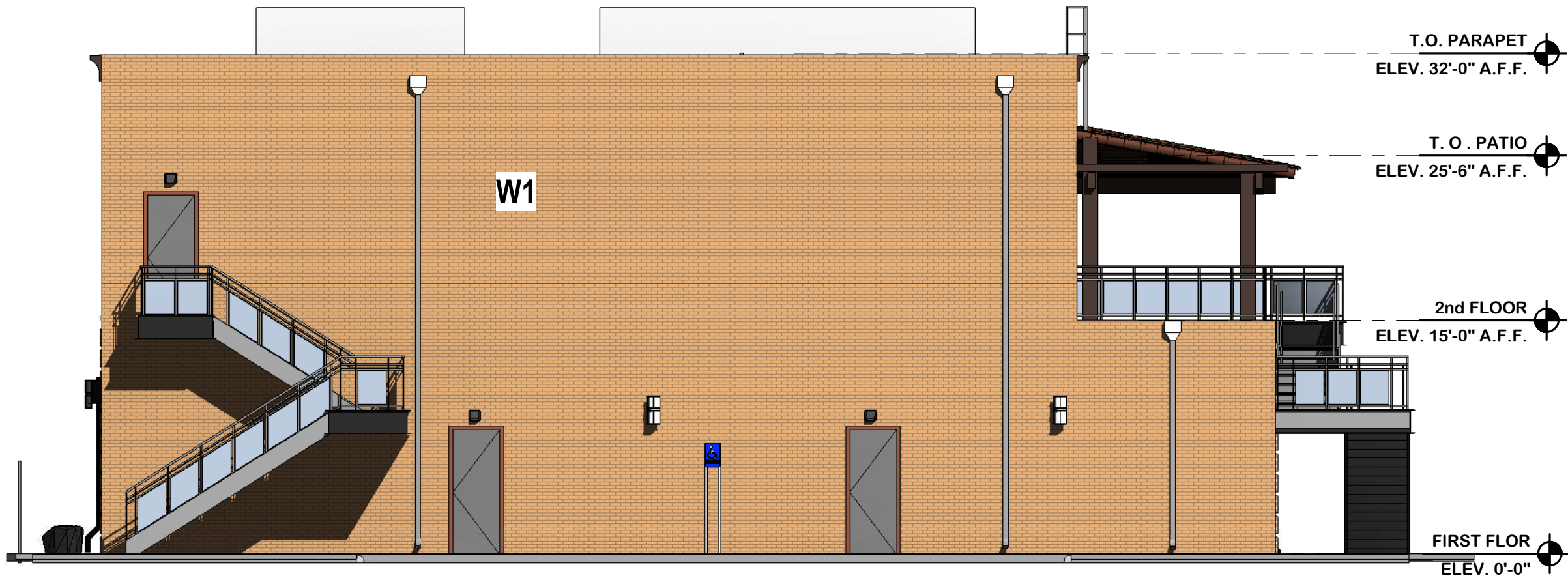
Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

A103

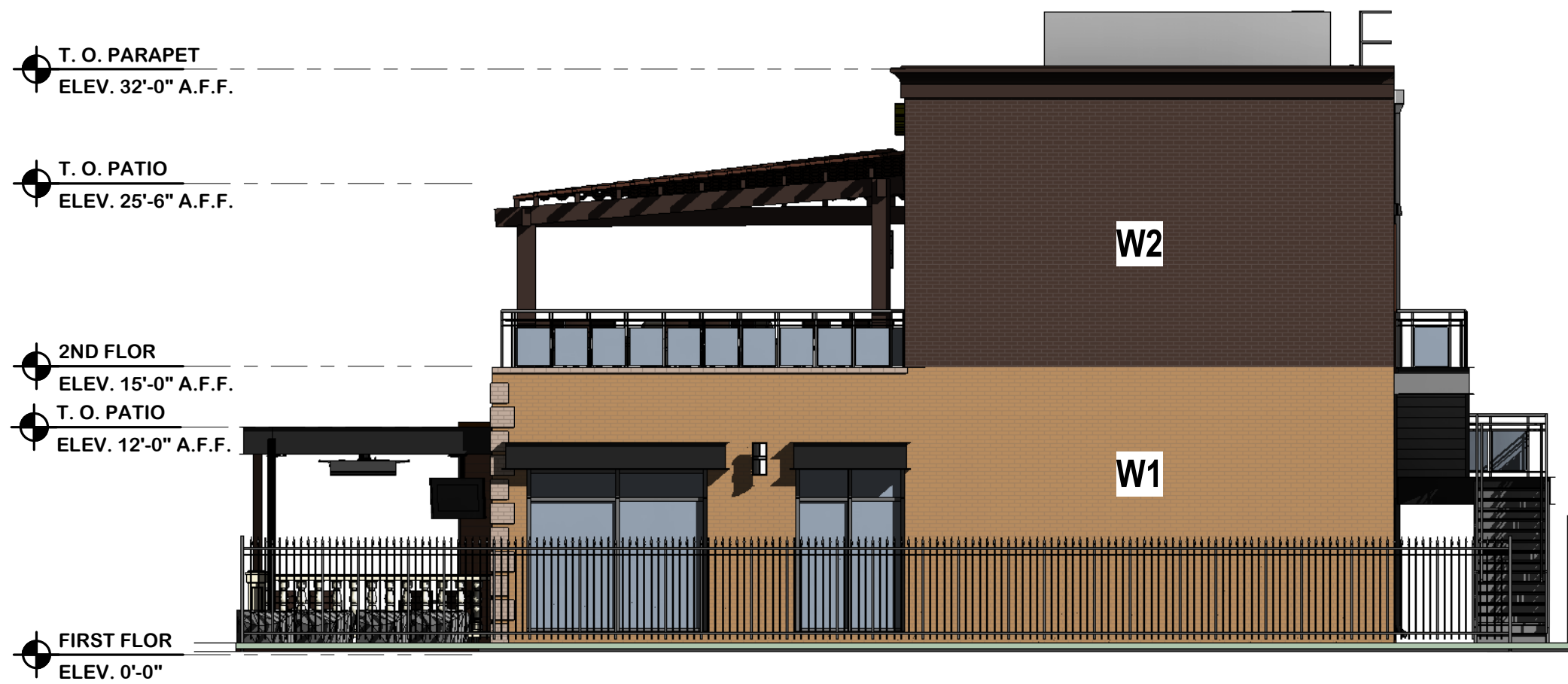
Scale 1/8" = 1'-0"



1 SIDE ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"



2 REAR ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"



3 SIDE ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"



4 FRONT ELEVATION BUILDING B
SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS/FACADE MATERIALS KEY



NATURAL BEIGE BRICK VENEER
(1ST FLOOR PERIMETER WALLS)

ANTICO ELEMENTS

877-326-8426 /
support@anticoelements.com



NATURAL ORANGE BRICK VENEER
(2ND FLOOR PERIMETER WALLS)

ANTICO ELEMENTS

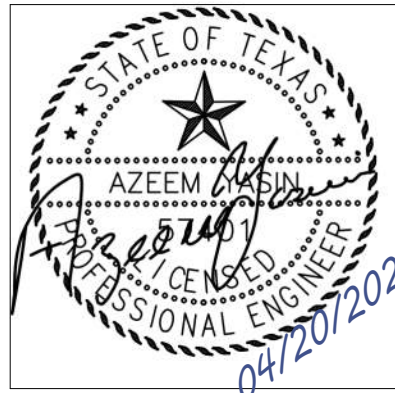
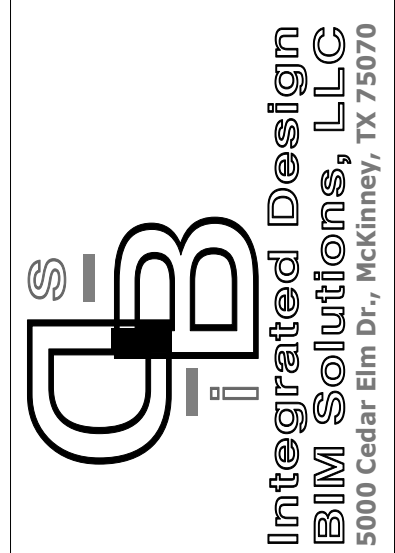
877-326-8426 /
support@anticoelements.com



BRAVA ROOF TILE SPANISH BARREL FIELD TILE
(2ND FLOOR PATIO ROOF)

ANTICO ELEMENTS

877-326-8426 / support@anticoelements.com



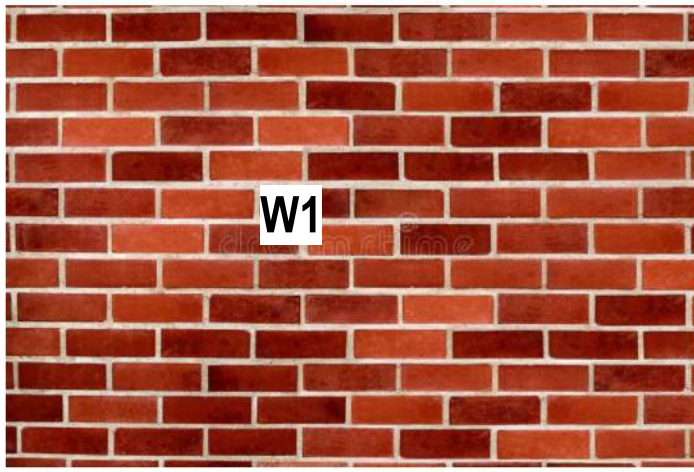
NEW LIQUOR KING - ROANOKE
304 S HWY 377
ROANOKE TX 76262

RELEASE:
No. Description Date

PROPOSED
EXTERIOR
ELEVATIONS
BUILDING '2'

Project number 2024-064
Date 03.30.2025
Drawn by AA
Checked by AA
A104
Scale 1/8" = 1'-0"

EXTERIOR ELEVATIONS/FACADE MATERIALS KEY



W1

NATURAL RED BRICK VENEER
(all PERIMETER WALLS)

ANTICO ELEMENTS

877-326-8426 /
support@anticoelements.com



W2

Onyx Standard Black Colored Brick

<https://www.realstonesystems.com/product/onyx-standard-brick>



W3

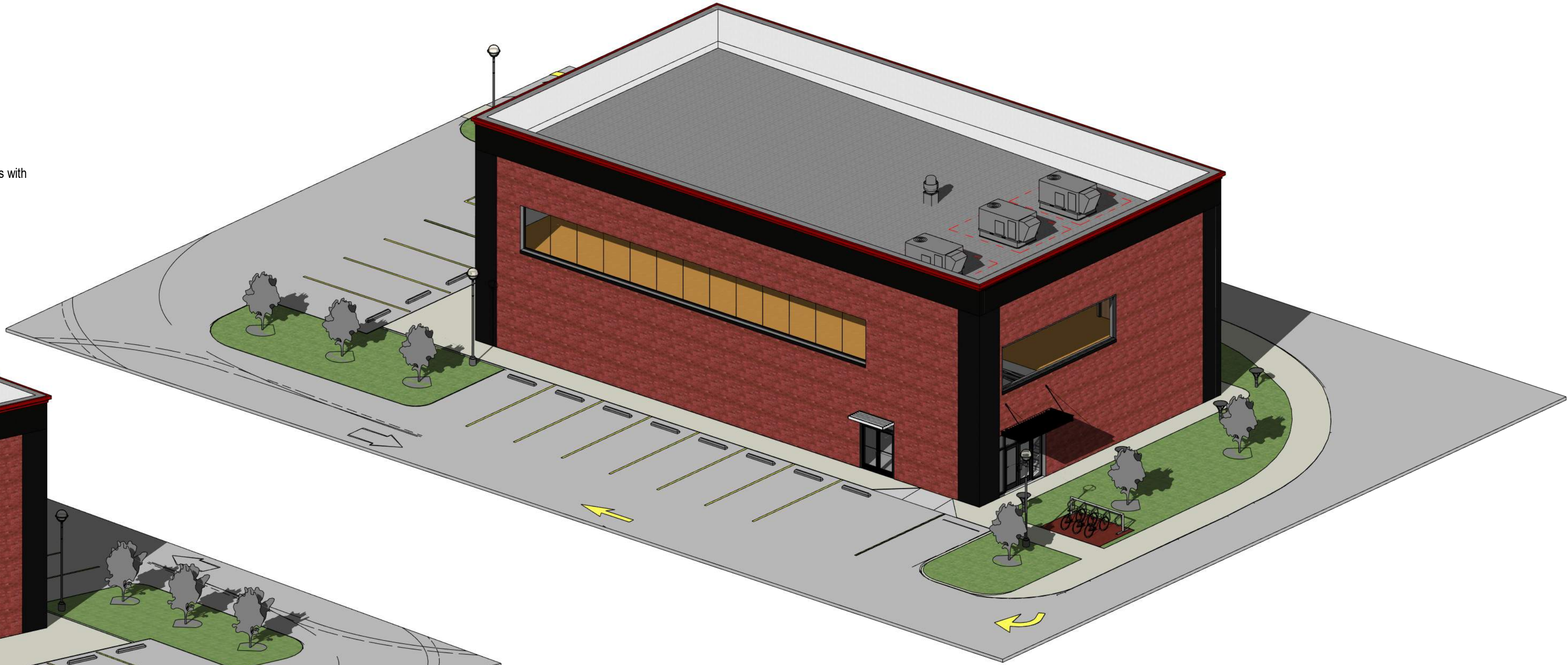
"The Black Rock" - Corrugated Metal Siding Panels with DualCoat™ - Loose Metal

<https://barrierbossusa.com/products/matte-black-corrugated-metal-siding-sheet-7-8-gauge>



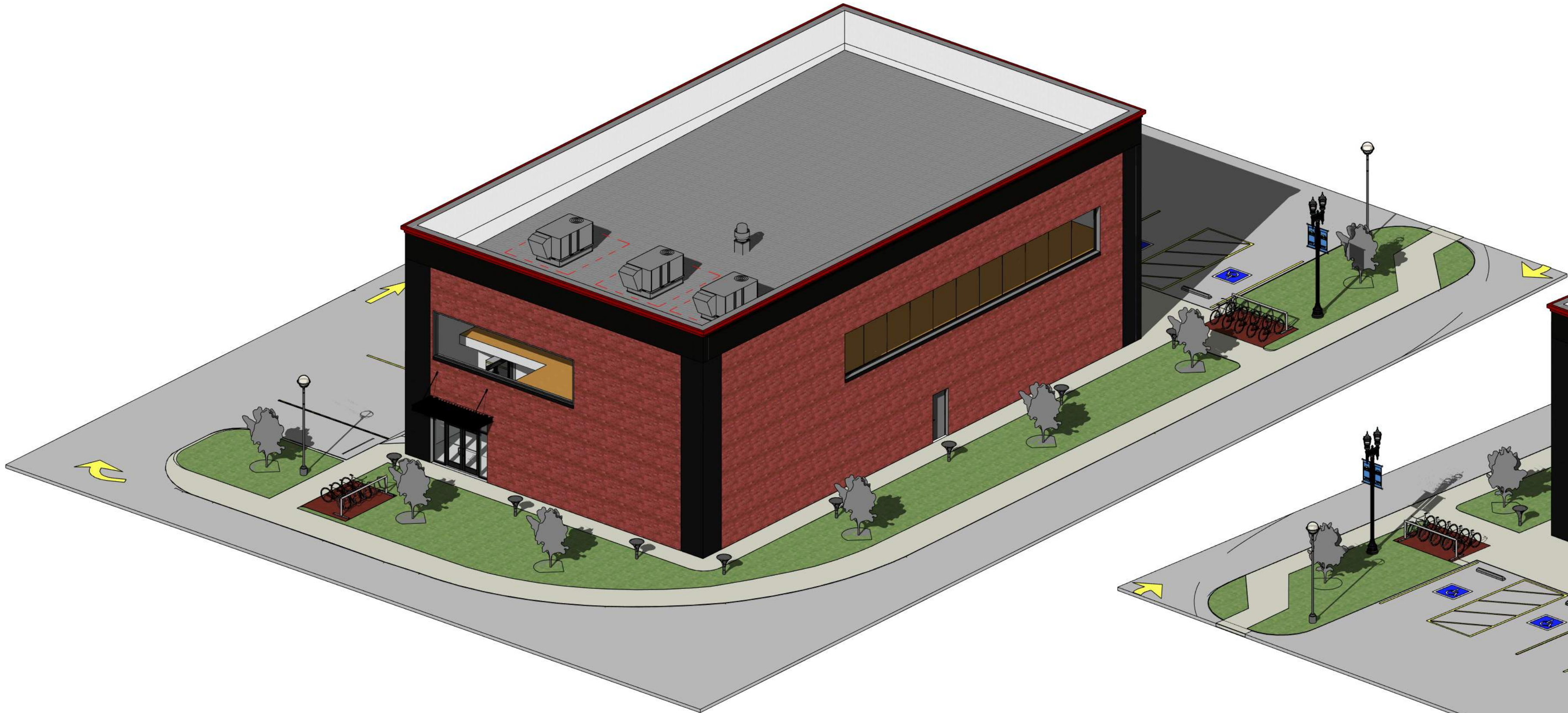
1 ISOMETRIC VIEW BUILDING 1

SCALE:



3 ISOMETRIC VIEW BUILDING 1

SCALE:



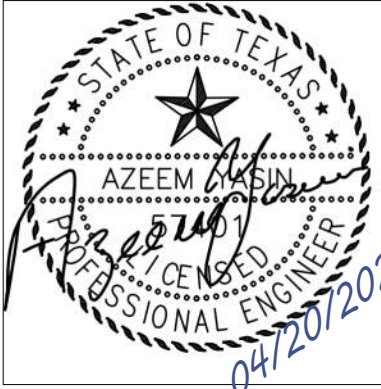
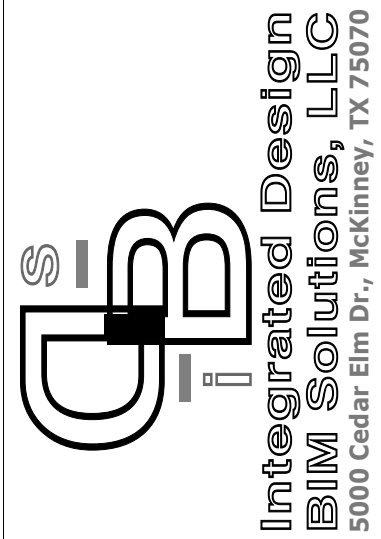
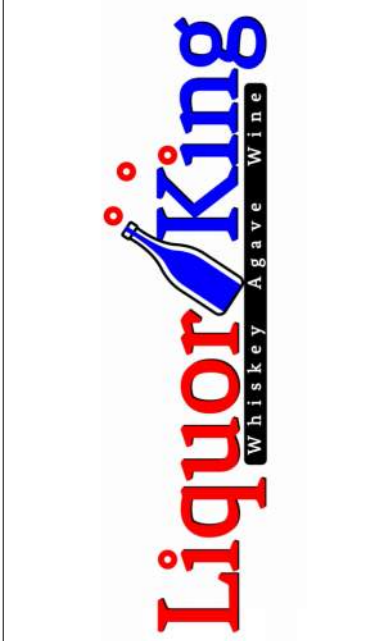
2 ISOMETRIC VIEW BUILDING 1

SCALE:



4 ISOMETRIC VIEW BUILDING 1

SCALE:



NEW LIQUOR KING - ROANOKE

304 S Hwy 377
ROANOKE TX 76262

RELEASE:

No.	Description	Date
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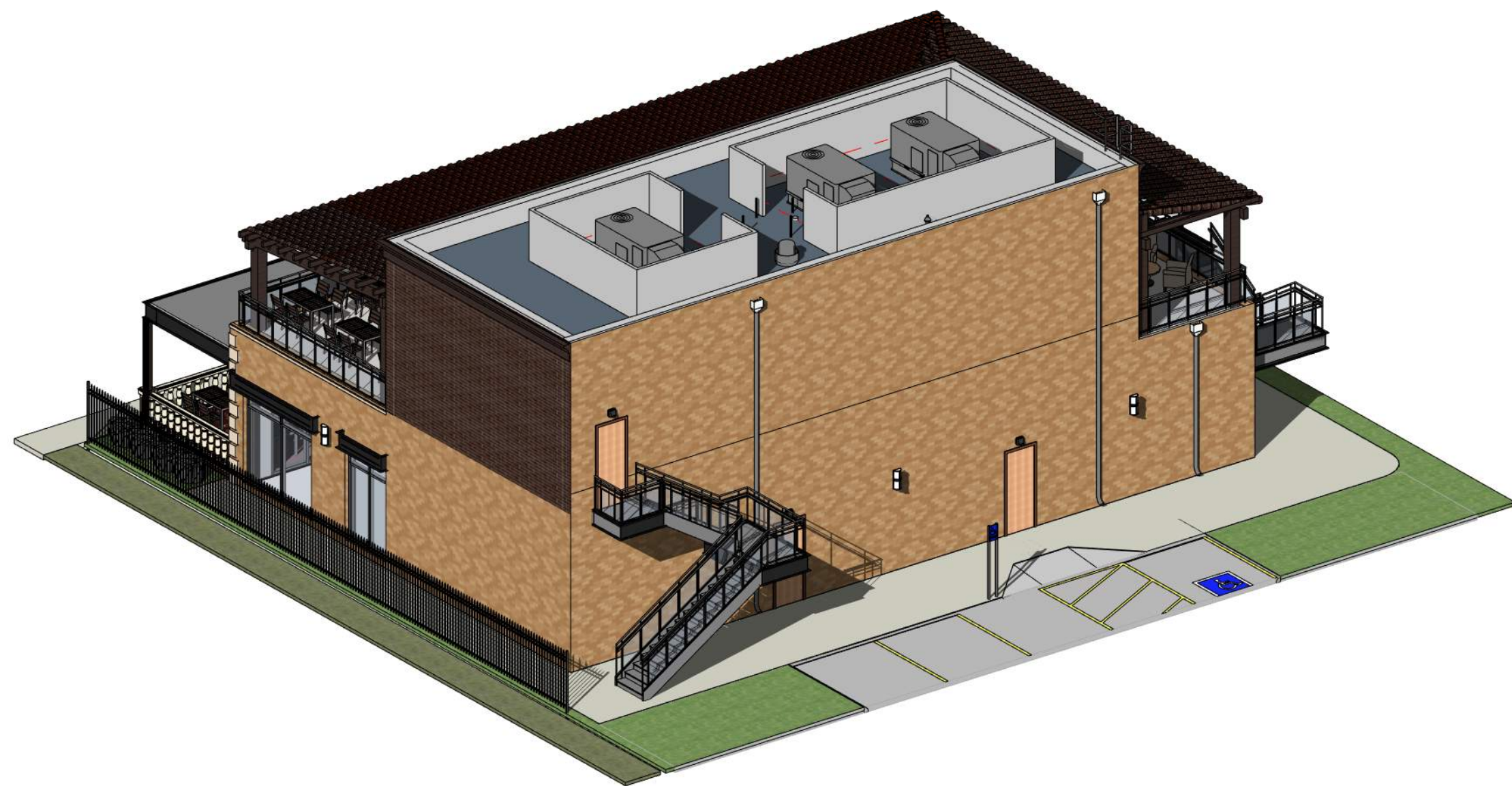
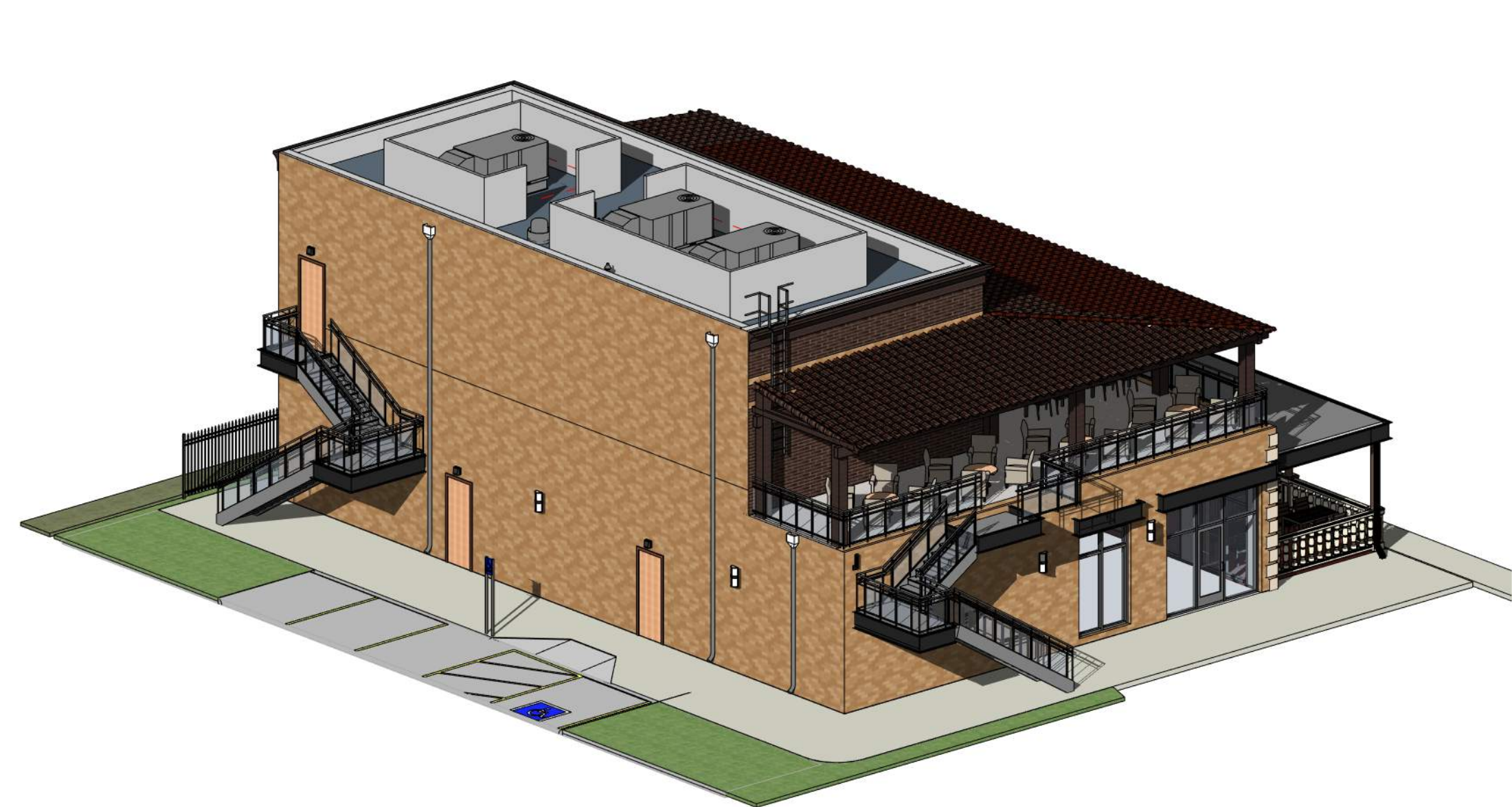
3D VIEWS BUILDING '1'

Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

A105

Scale

EXTERIOR ELEVATIONS/FACADE MATERIALS KEY

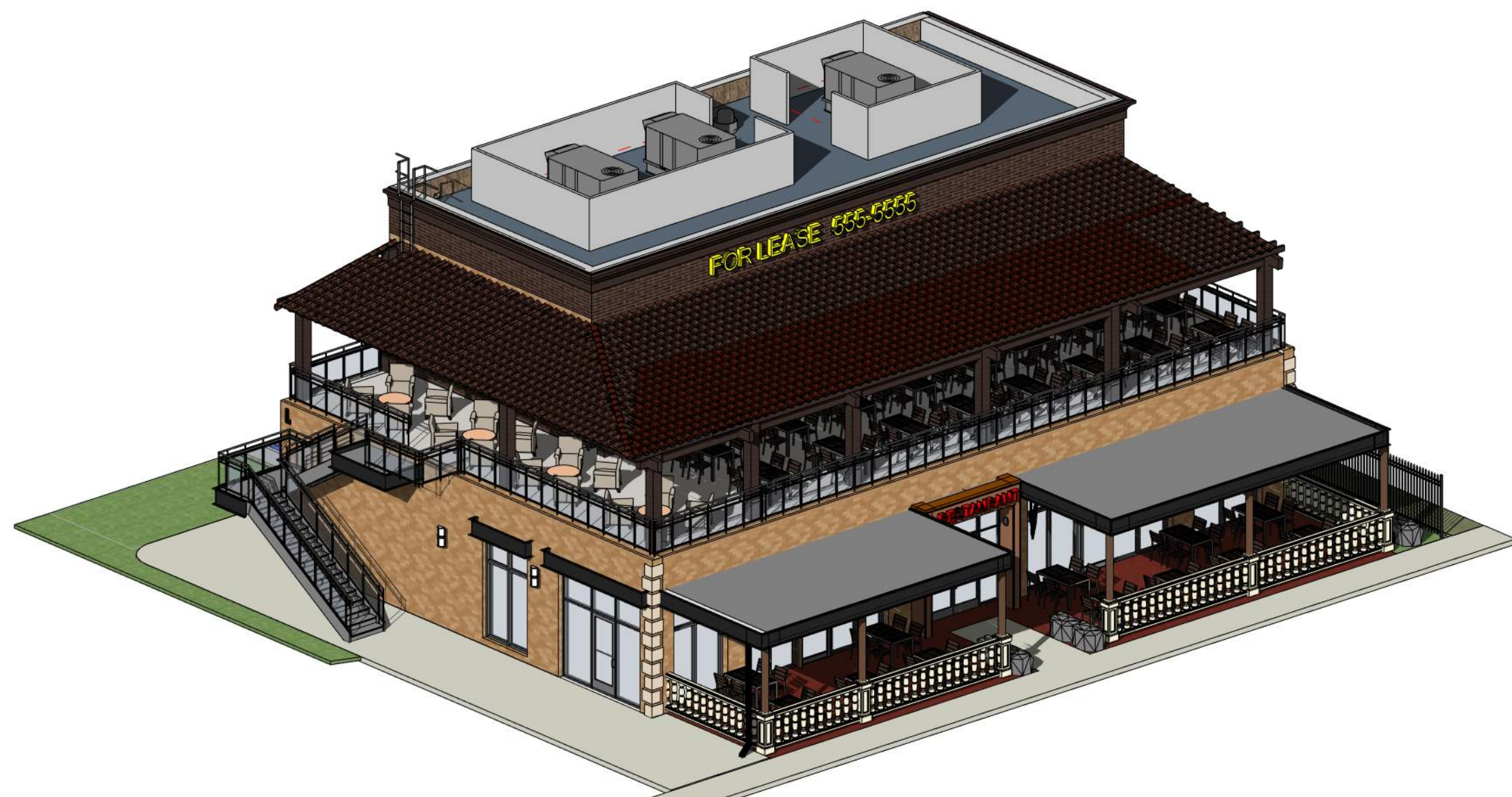


1 ISOMETRIC VIEW BUILDING 2

SCALE:

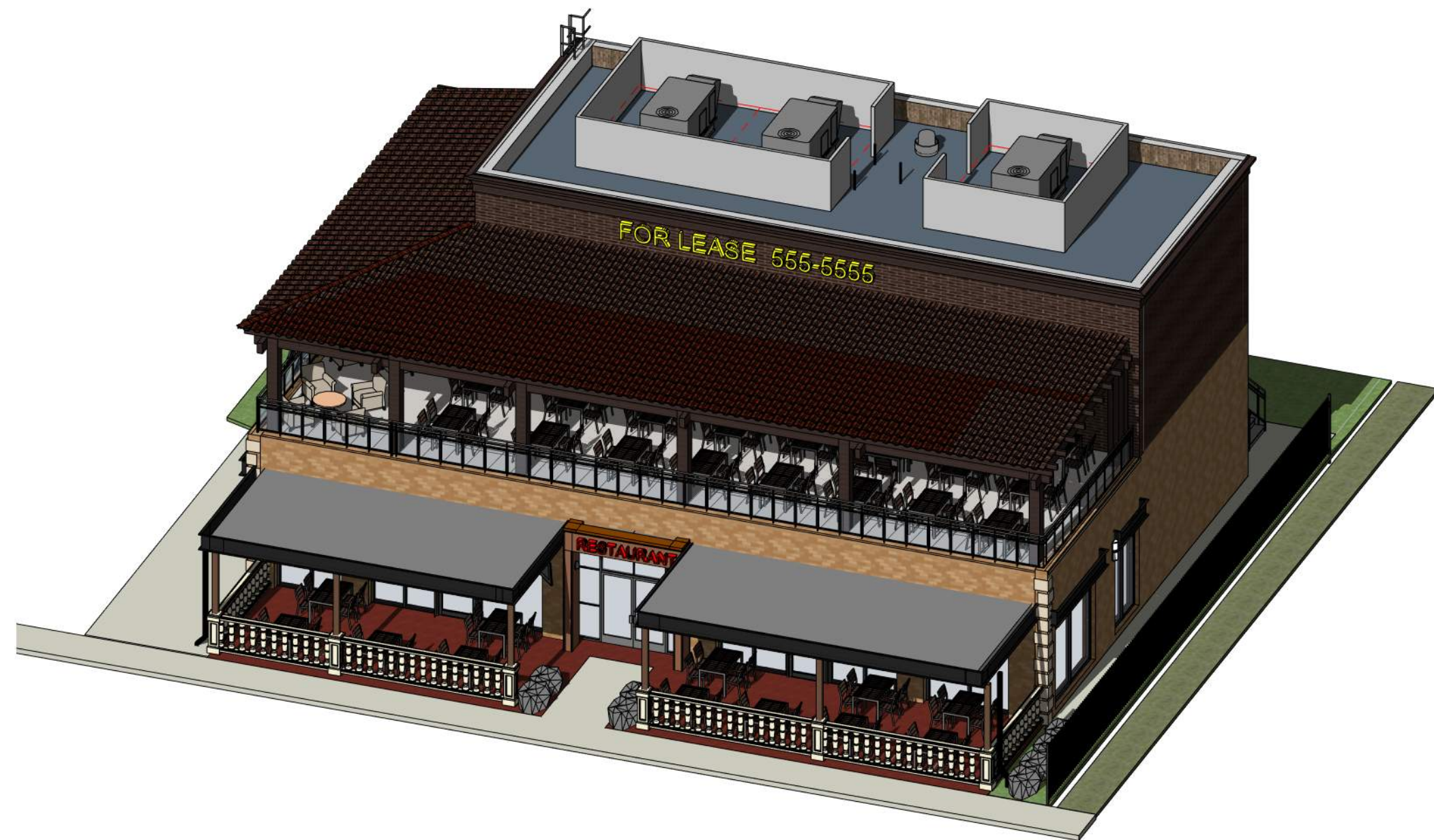
2 ISOMETRIC VIEW BUILDING 2

SCALE:



3 ISOMETRIC VIEW BUILDING 2

SCALE:



4 ISOMETRIC VIEW BUILDING 2

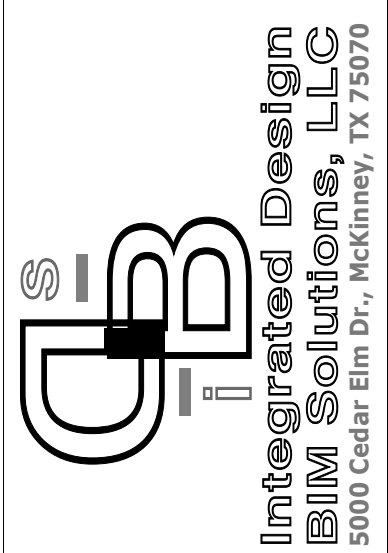
SCALE:



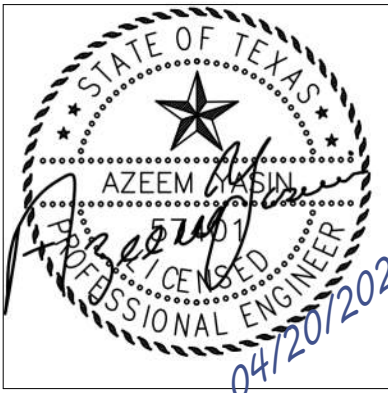
Liquor King



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STATE OF TEXAS
AZEEZ AZEEZ
Professional Engineer
04/20/2025

NEW LIQUOR KING - ROANOKE
304 S Hwy 377
ROANOKE TX 76262

RELEASE:
No. Description Date

3D VIEWS BUILDING
'2'

Project number	2024-064
Date	03.30.2025
Drawn by	AA
Checked by	AA

A106

Scale