



Helen Ward, Commissioner
Lauren Turner, Vice Chairman

Victor Molaschi, Chairman

Lewis Rice, Commissioner
Eric Heimbrecht, Commissioner

**ROANOKE ZONING BOARD OF ADJUSTMENT AGENDA
APRIL 17, 2025
7:00 PM**

**ROANOKE CITY HALL
CITY COUNCIL CHAMBERS – 2ND FLOOR
500 S. OAK STREET
ROANOKE, TEXAS 76262**

A. CALL TO ORDER

B. PUBLIC INPUT

This item is available for citizens to address the Zoning Board of Adjustment on any issues that are not the subject of a public hearing. No action by law may be taken on the topic. The presiding officer reserves the right to impose a time limit on this portion of the agenda. In order to provide the highest quality audio, all speakers need to speak at the podium.

C. APPROVAL OF THE MINUTES

1. Consideration and action on approval of the minutes from the regular Zoning Board of Adjustment meeting held on January 16, 2025.

D. NEW BUSINESS

1. Public hearing to consider a variance request (V-2025-03) from Matt Schultheis, seeking relief from the City's Code of Ordinances Section 12.772(l) regarding Fences in Residential Areas – Front Yard Fencing Requirements for property located at 1111 Bentley Drive, Lot 14, Block S Briarwyck, Phase 3D.
2. Consideration and action on a variance request (V 2025-03) from Matt Schultheis seeking relief from the City's Code of Ordinances Section 12.772(i), regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1111 Bentley Drive, Lot 14, Block S Briarwyck, Phase 3D.



**AGENDA FOR THE ROANOKE
ZONING BOARD OF ADJUSTMENT**

**April 17, 2025
Page 2 of 2**

3. Public hearing To consider a variance request (V-2025-04) from Stephen Wood, seeking relief from the City's Code of Ordinances Section 12.772(I) regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1113 Bentley Drive, Lot 13, Block S Briarwyck, Phase 3D.

4. Consideration and action on a variance request (V 2025-04) from Stephen Wood, seeking relief from the City's Code of Ordinances Section 12.772(I) regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1113 Bentley Drive, Lot 13, Block S Briarwyck, Phase 3D.

E. ADJOURNMENT

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Thursday, April 10, 2025, by 5:00 pm, in accordance with Chapter 551, Texas Government Code.

April S. Hill, City Secretary

*Any person planning to attend this meeting that may require auxiliary aids or services should request accommodations two (2) days prior to the meeting by calling (817) 491-8152. **BRILLE IS NOT AVAILABLE.**

A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: 01/16/2025 - ZBA Minutes

MEETING DATE: April 17, 2025

DEPARTMENT: City Secretary

ITEM SUMMARY:

Consideration and action on approval of the minutes from the regular Zoning Board of Adjustment meeting held on January 16, 2025.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. ZBAMin 01-16-2025



Helen Ward, Commissioner
Lauren Turner, Vice Chairman

Victor Molaschi, Chairman

Lewis Rice, Commissioner
Eric Heimbrecht, Commissioner

**ROANOKE ZONING BOARD OF
ADJUSTMENT REGULAR MEETING
MINUTES
JANUARY 16, 2025
7:00 P.M.**

**ROANOKE CITY HALL
500 S. OAK STREET
ROANOKE, TEXAS 76262**

LAUREN CONDUCTED THIS MEETING

Present: Chairman Victor Molaschi; Vice Chairman Lauren Turner; Commissioners: Helen Ward, Eric Heimbrecht, and Lewis Rice; City Planner Kelly Carlson, and Executive Assistant Jeannie Homer.

A. CALL TO ORDER

Meeting called to order at 7:00 p.m.

B. PUBLIC INPUT

No one wished to speak

C. APPROVAL OF THE MINUTES

1. Motion made by Lewis Rice second by Helen Ward to approve the minutes from the Zoning Board of Adjustment regular meeting held on November 21, 2024.
Motion carried unanimously.

D. OLD BUSINESS

1. Motion by Helen Ward second by Lewis Rice to nominate and elect Victor Molaschi as Chairman.
Motion carried unanimously.
2. Motion by Lewis Rice second by Helen Ward to nominate and elect Lauren Turner as Vice Chairman.
Motion carried unanimously.



**MINUTES FOR THE ZONING BOARD OF
ADJUSTMENT MEETING**

**January 16, 2025
Page 2 of 3**

D. NEW BUSINESS

1. Public hearing to consider a Variance Request (V-2025-01) from Sean Turner, seeking relief from the City's Code of Ordinances Section 12.242(a)(2) regarding height regulations for property located at 305 Main Street, Lot 3A-R, Block 10, OT Roanoke.

Public hearing started at 7:06 p.m.

Sean Turner, applicant, gave an overview of the requested variance.

Abigail Durden, Roanoke resident stated she is against this variance request, due to possible privacy issues with the 2 story having windows facing towards her adjacent property.

Public hearing ended at 7:10 p.m.

2. Motion made by Helen Ward second by Lewis Rice to deny a Variance (V2025-01) request from Sean Turner, seeking relief from the City's Code of Ordinances Section 12.242(a)(2) regarding height regulations for property located at 305 Main Street, lot 3A-R, block 10, OT Roanoke. The property is generally located on the north side of Main Street, just east of Pine Street.
Motion carried 4-0-1. Commissioner Lauren Turner abstained due to a conflict of interest.

3. Public hearing to consider a Variance Request (V-2025-02) from 2MDK Investment, LLC, seeking relief from the City's Code of Ordinances Section 12.403(b)(4), regarding area regulations side or rear yard in the Retail (R) District Adjacent to a Residential District. The proposed project is located in the M.E.P. & P.R.R. Survey, Abstract No. 923, Tr 15a, .42 acres, an addition to the City of Roanoke, Denton County, Texas, and having a property address of 409 E Byron Nelson Blvd.

Public hearing started at 7:21 p.m.

No one wished to speak.

Public hearing ended at 7:22 p.m.

4. Motion made by Helen Ward second by Lauren Turner to approve a variance (V 2025-02) request by 2MDK, LLC, seeking relief of the City's Code of Ordinances, Sec. 12.403.(b) (4), regarding the rear yard setback in the Retail (R) District adjacent to a Residential District, for a property having an address of 409 E Byron Nelson, a .42 acre tract, also known as tract A0923A MEP & PRR, TR 15A, and generally located approximately one-half (.05) mile east of N. Oak Street on the north side of E Byron Nelson.
Motion carried unanimously.



MINUTES FOR THE ZONING BOARD OF
ADJUSTMENT MEETING

January 16, 2025
Page 3 of 3

E. ADJOURNMENT

Motion made by Helen Ward second by Lewis Rice to adjourn the meeting at 7:26 p.m.
Motion carried unanimously.

Victor Molaschi, Chairman

April S. Hill, City Secretary



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: PH Notice - V-2025-03 - 1111 Bentley Drive

MEETING DATE: April 17, 2025

DEPARTMENT: City Secretary

ITEM SUMMARY:

Public hearing to consider a variance request (V-2025-03) from Matt Schultheis, seeking relief from the City's Code of Ordinances Section 12.772(I) regarding Fences in Residential Areas – Front Yard Fencing Requirements for property located at 1111 Bentley Drive, Lot 14, Block S Briarwyck, Phase 3D.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. PH Notice - V-2025-03 - Matt Schultheis 1111 Bentley Drive - Lot 14 Block S Briarwyck Phase 3D



City of Roanoke Notice of Public Hearing Variance Request

NOTICE OF PUBLIC HEARING CITY OF ROANOKE V-2025-03

Roanoke Zoning Board of Adjustment

THE ROANOKE ZONING BOARD OF ADJUSTMENT WILL HOLD A PUBLIC HEARING ON THURSDAY, APRIL 17, 2025, TO CONSIDER A VARIANCE REQUEST FROM MATT SCHULTHEIS, SEEKING RELIEF FROM THE CITY'S CODE OF ORDINANCES SECTION 12.772(i) REGARDING FENCES IN RESIDENTIAL AREAS – FRONT YARD FENCING REQUIREMENTS FOR PROPERTY LOCATED AT 1111 BENTLEY DRIVE, LOT 14, BLOCK S BRIARWYCK, PHASE 3D. THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. IN THE CITY COUNCIL CHAMBERS LOCATED AT 500 S OAK STREET, ROANOKE, TEXAS.

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Wednesday, March 26, 2025, by 5:00 p.m.

April S. Hill, City Secretary

Persons with disabilities who plan to attend this meeting, who may need auxiliary aids or services are requested to contact April S. Hill, City Secretary, at City Hall, (817) 491-2411 two (2) days prior to the meeting so that appropriate arrangements can be made. **BRILLE IS NOT AVAILABLE.

- A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: Variance- (V 2025-03) 1111 Bentley Drive

MEETING DATE: April 17, 2025

DEPARTMENT: Planning

ITEM SUMMARY:

Consideration and action on a variance request (V 2025-03) from Matt Schultheis seeking relief from the City's Code of Ordinances Section 12.772(i), regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1111 Bentley Drive, Lot 14, Block S Briarwyck, Phase 3D.

INFORMATION:

The property owner built an eight (8) foot wood fence up to the sidewalk in the front yard without a permit. The applicant was informed that it is in violation and that all new fences require an approved permit.

In addition, this section of property is in a flowage easement and is subject to Corps of Engineers regulations.

A wrought iron fence less than four (4) feet in height was installed on top of the retaining wall at the time of development.

Sec. 12.772. - Fences in Residential Areas

(i) Front Yard Fencing. No fence shall be built within the required front yard, as defined in the Zoning Ordinance, except for lots that have an area of one and one-half acres (1½) acres or greater. Front yard fencing shall be limited to four (4) feet in height and shall not be of solid construction, providing that at least fifty (50) percent of the fence be open.

STAFF RECOMMENDATION:

Staff recommends denial.



AGENDA ITEM

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. V-2025-03 - Matt Schultheis - 1111 Bentley Drive - Variance App & supporting documents
2. Briarwyck Phase 3D As-Built Civil Plans



CITY OF ROANOKE
 500 S. OAK STREET
 ROANOKE, TEXAS 76262
 (817) 491-2411

Zoning Board of Adjustment Application

Variance Special Exception Zoning Board Appeal

Name of Applicant Matt Schultheis	Address of Applicant 1111 Bentley Drive	E-Mail matt@basmpo.com
		Phone
		Mobile Phone 817-235-8653
Name of Business	Type of Business	
Property Address 1111 Bentley Drive	Lot / Block / Subdivision Lot 14, Block S, Briarwyck, Phase 3D	

Explanation of request: I am writing to formally request approval of a variance to complete the installation
of an 8-foot wooden fence along the sidewalk portion of my property. This request is essential to address critical
safety issues and liability concerns that have persisted for over a decade.

For Variance please state hardship: The developer has left a physical limitation
of my property with the iron fence on a large drop
off.

Fees: Variance-\$200.00, Special Exception-\$200.00, Zoning Board Appeal-\$100.00. Fees are non-refundable. The Zoning Board of Adjustment meets on the 3rd Thursday of the month, at 7:00 p.m. in the City Hall Council Chamber located at 500 S. Oak Street. You will be notified by e-mail of the date the request will be presented before the ZBA. For a Variance or Special Exception, property owners located within 200 feet will be notified by mail. Electronic drawings and any additional information that needs to be reviewed prior to the meeting must be received with the application.

FOR OFFICE USE ONLY

Date Payment Received PD \$200.00 03/24/2025 REC #762326 JM	Date of Meeting 04/17/2025	Date Notified 03/26/2025	Item No. V2025 - 03
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Figure 1. 1111 Bentley Dr Before

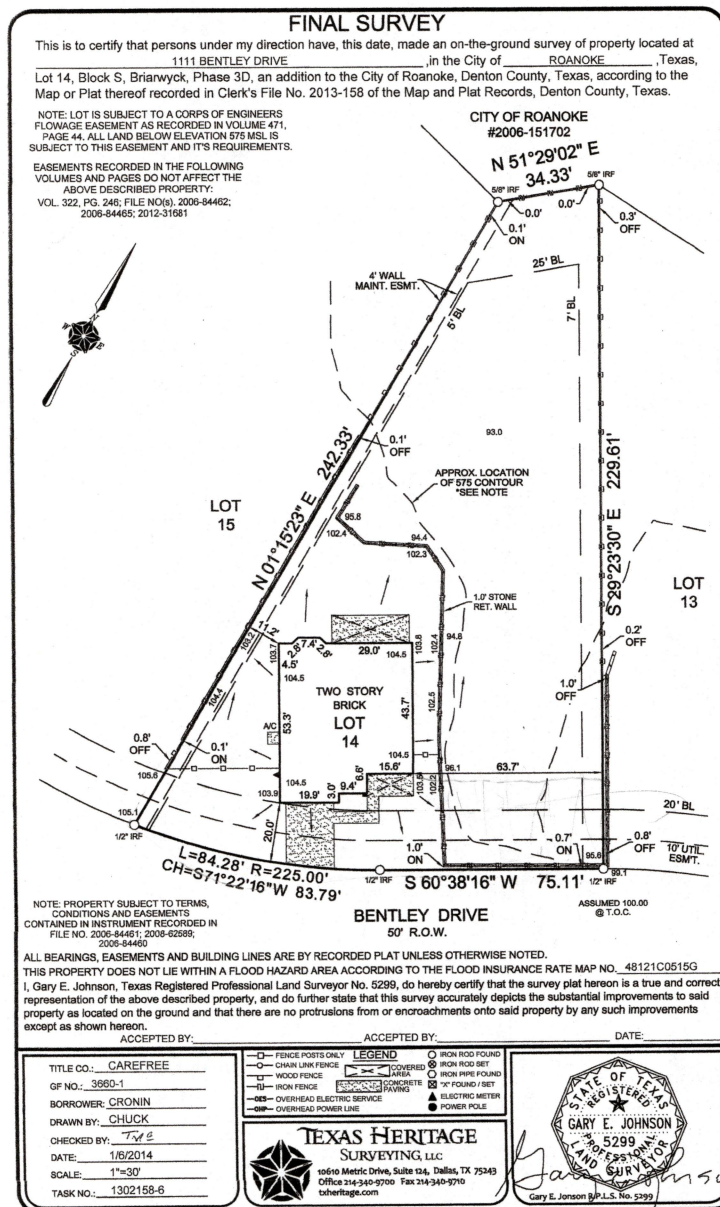


Figure 2. Property Survey



Figure 4. 410 Aylesbury Ct (reference in Briarwyck HOA)



Figure 5. 901 Hartford Ct (reference in Briarwyck HOA)



Figure 3. 1111 Bentley Drive Before and After Looking North (mid-staining)

Matt Schultheis

1111 Bentley Drive

Roanoke, Texas 76262

March 18, 2025

Variance Board

Re: Variance Request for Fence Completion – Addressing Safety and Liability Concerns

Dear Members of the Variance Board,

I am writing to formally request approval of a variance to complete the installation of an 8-foot wooden fence along the sidewalk portion of my property. This request is essential to address critical safety issues and liability concerns that have persisted for over a decade. The fence installation is nearly complete, with only a few remaining boards and staining left to finalize.

1. Longstanding Safety Issue:

For more than 10 years, the area adjacent to my backyard has posed a significant safety risk due to the presence of a 6-foot retaining wall running along the city sidewalk and neighborhood road. The lack of an adequate barrier has led to repeated incidents where individuals attempted to climb over the existing short fence, and in some cases, successfully entered my property by climbing down from the retaining wall. Completing the 8-foot fence would provide a necessary physical and visual deterrent, significantly reducing the risk of injury.

2. Direct Liability Exposure:

As the property owner, I face direct liability for any injuries that occur due to the inadequate barrier along the retaining wall. Completing the 8-foot fence would fulfill my responsibility to create a safe and secure environment and mitigate potential liability.

3. Repeated Trespassing and Property Misidentification:

My backyard has been repeatedly mistaken for a community common area or vacant lot by individuals walking along the sidewalk. Over the years, there have been multiple instances where individuals have climbed over my existing fence, dropped down the retaining wall, and even climbed over my adjacent neighbor's fence. The completion of a taller, more visible fence would clearly define the boundary of private property and discourage unauthorized access.

4. Completion of the Fence:

The majority of the fence has already been constructed, with only a few boards and staining left to finalize. Allowing this variance would ensure that the project is lawfully completed and provide the intended safety, security, and liability protections for both myself and the surrounding community.

I believe that completing the fence as proposed aligns with the city's interest in promoting safety and protecting property owners from undue liability. Thank you for your time and consideration of this matter. I am happy to provide any additional information or clarification needed to support this request.

Sincerely,

Matt Schultheis

THE CITY OF ROANOKE, TEXAS PLANS FOR THE CONSTRUCTION OF PAVING, DRAINAGE AND WATER IMPROVEMENTS

To Serve

BRIARWYCK ADDITION, PHASE 3D



CARL GIERISCH, Jr.
MAYOR

JIMMY STATHATOS
CITY MANAGER

BRIAN DARBY
HOLLY GRAY-MCPHERSON
STEVE HEATH
MELVIN SMITH
VICTOR MOLASCHI
KEVIN STILLWELL
CITY COUNCIL MEMBERS

OWNED/DEVELOPED BY:

MERITAGE HOMES CORPORATION
909 Hidden Ridge Parkway
Suite 190
Irving, TX 75098
Phone: (972) 580-6351

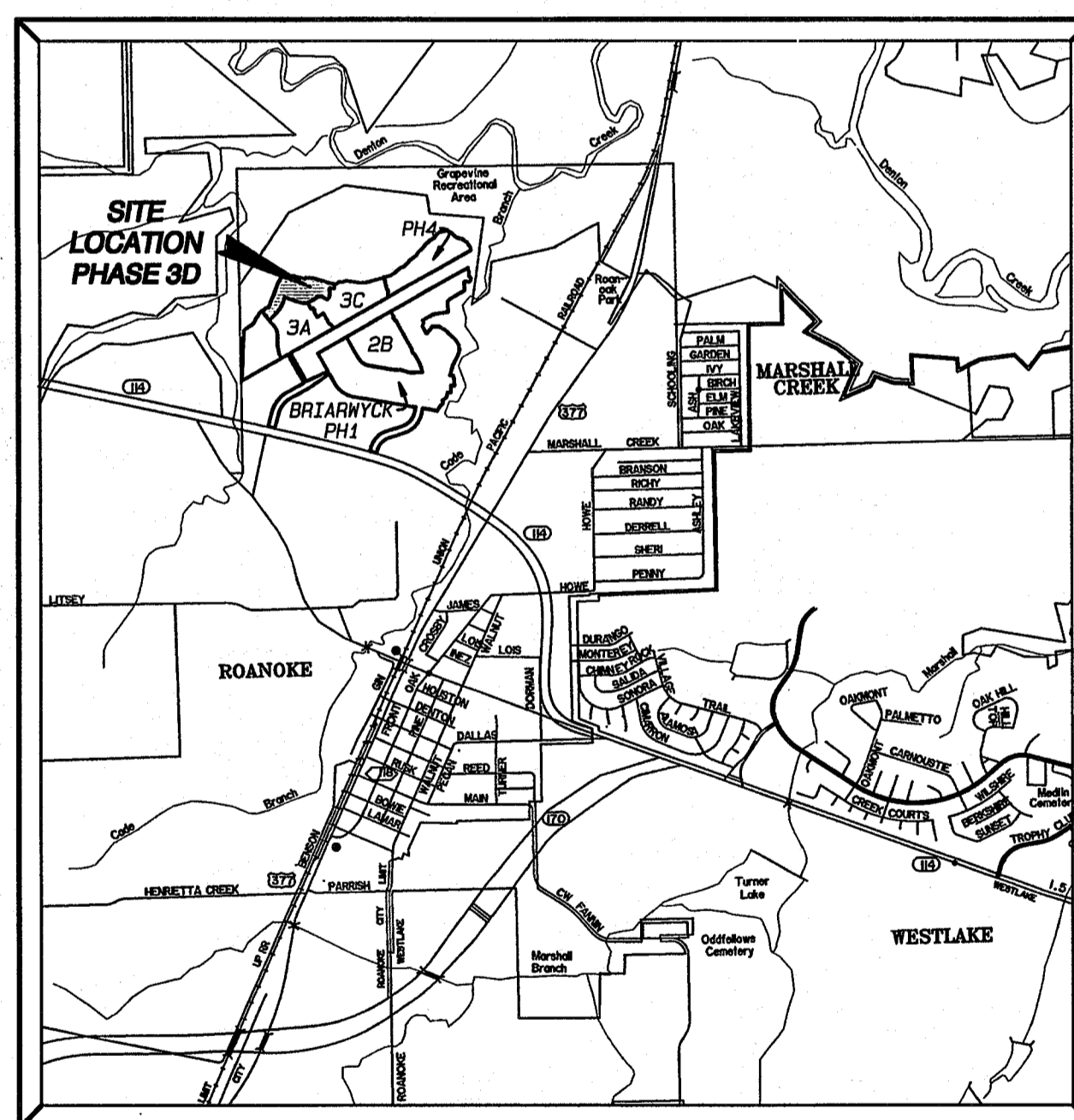
PREPARED BY:

GOODWIN & MARSHALL, INC.

CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS

2405 Mustang Drive, Grapevine, Texas 76051
Metro (817) 329-4373
TBPE Registration # F-2944

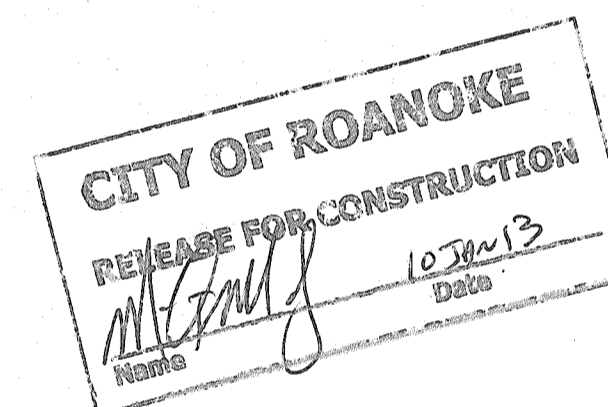
NOTE:
THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS
APPLY WHETHER INDICATED ON THESE PLANS OR NOT



VICINITY MAP
N.T.S.

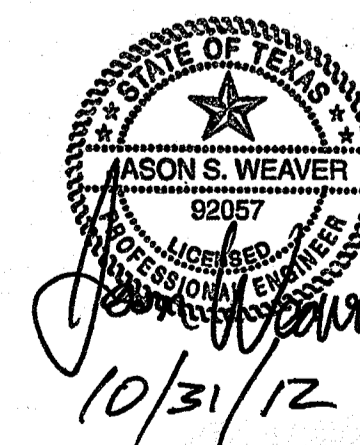
LOCATED IN
CITY OF ROANOKE, TEXAS

OCTOBER, 2012



INDEX OF DRAWINGS

Sheet No.	Description
1.	FINAL PLAT
2.	FINAL PLAT
3.	PHASE MAP
4.	BENTLEY DRIVE - Plan & Profile
5.	GRADING PLAN
6.	DRAINAGE AREA MAP
7.	DRAINAGE CRITERIA AND NOTES
8.	STORM DRAIN LINE "G-1", LATERAL "G-1b" - Plan & Profile
9.	EROSION CONTROL PLAN
10.	EROSION CONTROL DETAILS
11.	WATER LAYOUT
12.	EXISTING SANITARY SEWER LAYOUT
13.	WATER GENERAL NOTES & DETAILS
14.	STREET LIGHT & SIGNAGE LAYOUT
15.	PAVING & STORM DRAIN DETAILS - CITY OF ROANOKE STANDARDS
16.	STORM DRAIN DETAILS - CITY OF ROANOKE STANDARDS
17.	WATER DETAILS - CITY OF ROANOKE STANDARDS
18.	STREET LIGHT GENERAL NOTES & DETAILS
19.	STREET LIGHT GENERAL NOTES & DETAILS
20.	STREET LIGHT GENERAL NOTES & DETAILS
21.	STREET LIGHT GENERAL NOTES & DETAILS

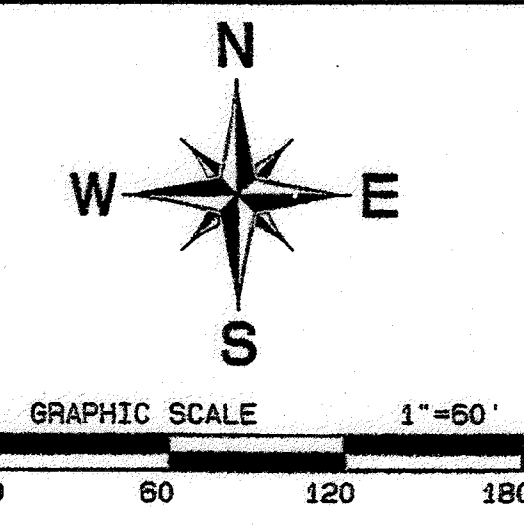
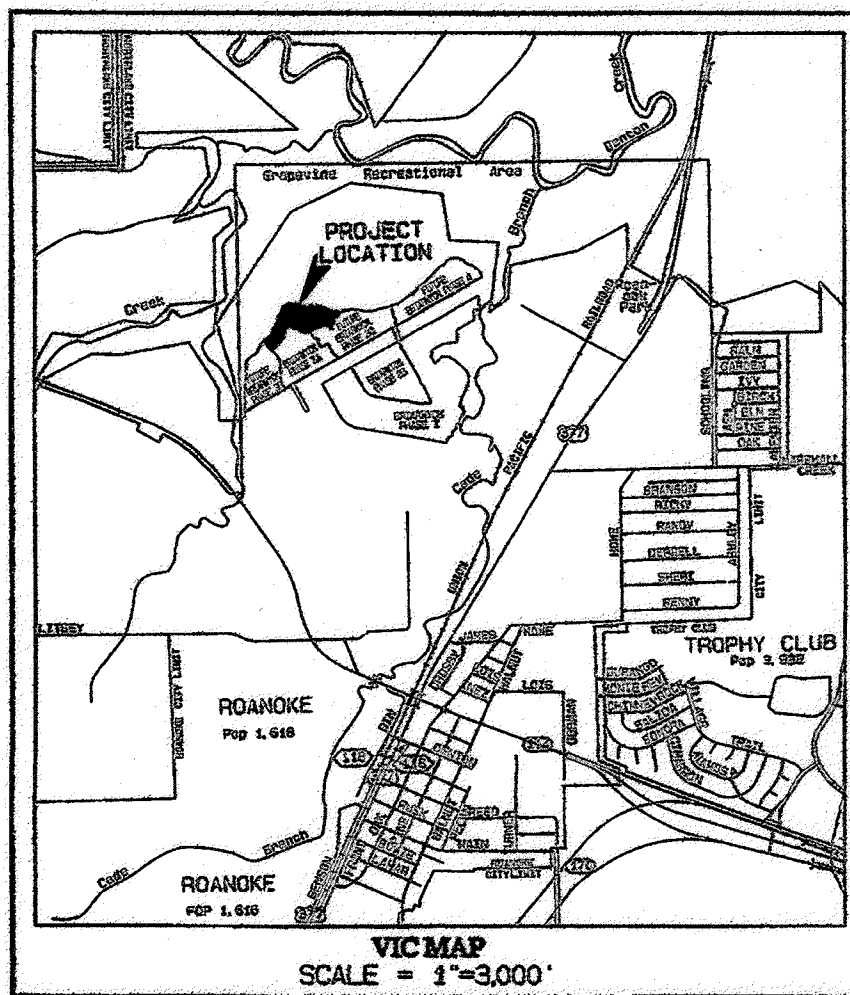


RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION PROVIDED BY OTHERS. GOODWIN & MARSHALL, INC. IS NOT RESPONSIBLE FOR ERRORS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

DATE: JUNE 3, 2013

JOB NO. 10323 - BRIARWYCK, PHASE 3D - PAVING, DRAINAGE & WATER IMPROVEMENTS

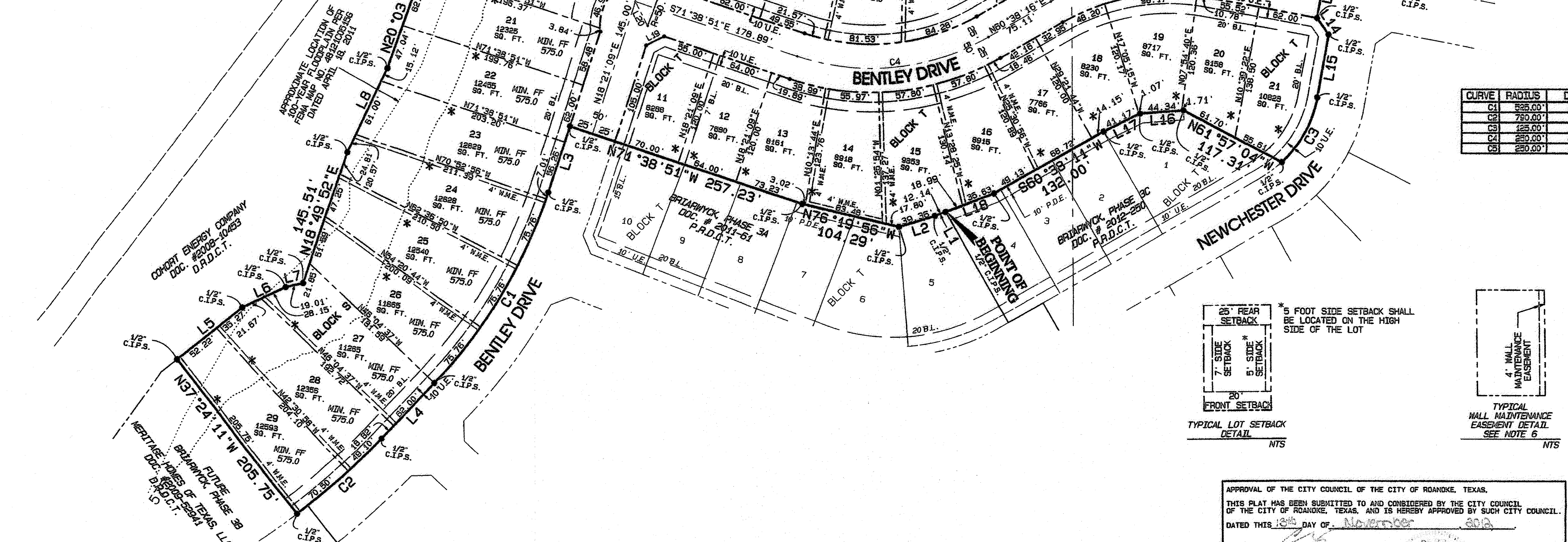


LINE TABLE

LINE	BEARING	DISTANCE
L1	S86°15'07"W	42.14'
L2	S73°15'58"W	39.35'
L3	S18°21'09"W	73.53'
L4	S43°55'23"W	80.22'
L5	N54°50'27"E	87.49'
L6	N64°35'36"E	49.88'
L7	N77°19'24"E	49.01'
L8	N65°05'34"E	65.69'
L9	N59°21'17"E	76.13'
L10	N81°23'02"E	34.33'
L11	S73°02'00"E	81.40'
L12	N75°20'33"W	70.63'
L13	S10°39'22"W	80.00'
L14	S24°20'38"E	21.21'
L15	S10°39'22"W	66.57'
L16	S68°09'25"W	45.05'
L17	S64°12'49"W	42.24'
L18	S69°15'07"W	54.62'
L19	N63°21'09"E	21.21'
L20	S68°39'31"E	28.23'

CURVE TABLE

CURVE	RADIUS	DELTA	LENGTH	TANGENT	CHORD BEARING	CHORD
C1	625.00'	25°34'14"	234.50'	119.13'	S31°08'46"W	232.36'
C2	750.00'	8°40'28"	149.50'	59.91'	S48°15'35"W	149.48'
C3	125.00'	26°02'41"	78.64'	40.57'	S38°40'42"W	77.35'
C4	250.00'	47°42'39"	208.19'	110.55'	N64°22'43"E	202.23'
C5	250.00'	40°01'05"	174.51'	91.04'	N30°38'49"E	171.09'



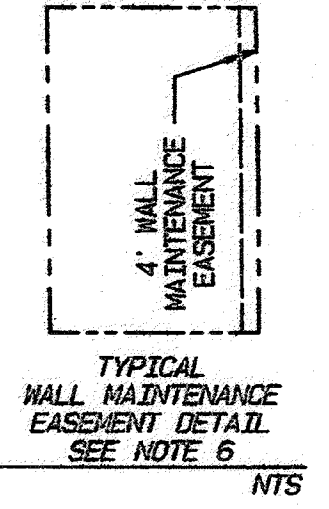
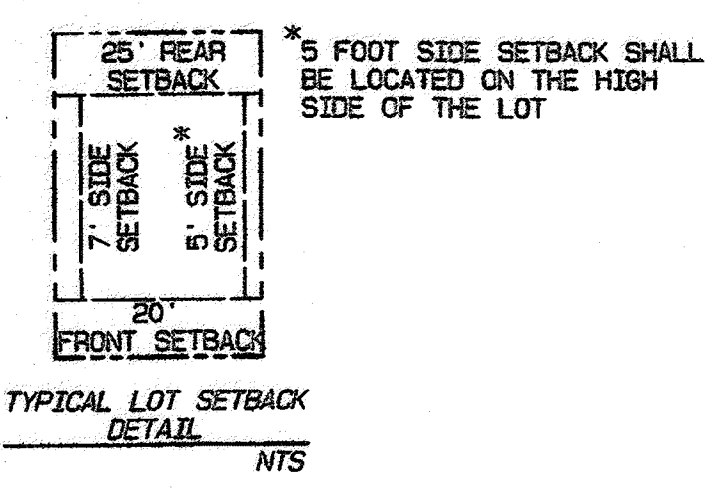
ABBREVIATION LEGEND

R.O.W.	RIGHT OF WAY
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
CAB. PG.	CABINET, PAGE
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
ESMT.	EASEMENT
C.I.P.F.	CAPPED IRON PIN FOUND
C.I.P.S.	CAPPED IRON PIN SET
Sq. FT.	SQUARE FEET
P.D.E.	PRIVATE DRAINAGE EASEMENT
W.M.E.	WALL MAINTENANCE EASEMENT

- NOTES:**
- The bearings hereon are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 datum derived from GPS observations.
 - All interior property corners are 1/2" rebar with yellow plastic caps stamped "Goodwin & Marshall" set, unless otherwise noted.
 - Tract is subject to a Corps of Engineers Flowage Easement as recorded in Volume 471, Page 44 of the Deed Records of Denton County, Texas. All land below elevation 575 msl is subject to this easement and its requirements. Lots 1-23, Block N may be impacted by this easement. Contour information provided by others. Surveyor has not field determined location of the 575 contour.
 - Abstract lines as shown are scaled from county maps and are approximate.
 - According to Map No. 48121005156, Dated April 18, 2011, of the FIRM (Flood Insurance Rate Map) for Denton County, Texas and incorporated areas, this property appears to be within Flood Zone "X" (Unshaded, areas determined to be outside the 0.2% annual chance floodplain) and within Zone "AE" (areas of 1% annual chance flood (100-year flood) with Base Flood Elevations determined). The approximate location of the 100-year floodplain as shown is scaled from said FIRM.
 - All Wall Maintenance Easements (W.M.E.) are to the benefit of the lot on which the retaining wall is built.

PREPARED BY:
GOODWIN & MARSHALL
 CIVIL ENGINEERS - PLANNERS - SURVEYORS
 2405 Mustang Drive, Grapevine, TX 76051
 Metro (817) 829-4373

OWNER/DEVELOPER:
MERITAGE HOMES OF TEXAS, LLC
 909 HIDDEN RIDGE PARKWAY
 SUITE 190
 IRVING, TEXAS 75038
 PHONE: (972) 580-6351



APPROVAL OF THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS.
 THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE CITY COUNCIL OF THE CITY OF ROANOKE, TEXAS, AND IS HEREBY APPROVED BY SUCH CITY COUNCIL.
 DATED THIS 13th DAY OF November 2012
 BY: *Carol L. Brown* MAYOR
 ATTEST: *April S. Hill* SECRETARY

APPROVAL OF THE PLANNING & ZONING COMMISSION OF THE CITY OF ROANOKE, TEXAS.
 THIS PLAT HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF ROANOKE, TEXAS, AND IS HEREBY RECOMMENDED BY SUCH COMMISSION TO THE CITY COUNCIL FOR ITS CONSIDERATION FOR APPROVAL.
 DATED THIS 13th DAY OF November 2012
 BY: *Randy Wilson* CHAIRMAN
 ATTEST: *April S. Hill* CITY SECRETARY

FINAL PLAT
 OF
LOT 12X, BLOCK S, LOTS 13-29, BLOCK S
LOTS 11-21, BLOCK T
BRIARWYCK, PHASES 3D
 BEING
BEING 10.240 ACRES
 SITUATED IN THE
WILLIAM PERRY SURVEY, ABSTRACT No. 1033,
W.R. KELSEY SURVEY, ABSTRACT No. 705
CITY OF ROANOKE, DENTON COUNTY, TEXAS
28 RESIDENTIAL LOTS, 1 NON RESIDENTIAL LOT
OCTOBER, 2012

Filed for Record
 in the official records of
 Denton County
 On: Nov 25, 2013 at 09:47P
 in the
 Plat Records
 Doc Number: 2013-138
 No. of Pages: 2
 Amount: 100.00
 Receipt Number: 1044120
 Paid in Advance

SHEET 1 OF 2
 PHASES 3D

OWNER'S CERTIFICATE

STATE OF TEXAS
COUNTY OF DENTON

WHEREAS MERITAGE HOMES OF TEXAS, LLC, is the owner of a 10.240 acre tract of land in the William Perry Survey, Abstract No. 1033 and the W.R. Kelsey Survey, Abstract No. 705, situated in the City of Roanoke, Denton County, Texas, said 10.240 acre tract being a portion of those tracts conveyed to MERITAGE HOMES OF TEXAS, LLC by deed recorded in Document No. 2009-32941 of the Deed Records of Denton County, Texas (DRDCT) and being more particularly described as follows, to-wit:

BEGINNING at a 1/2" capped iron rod previously set for the Northeast corner of Lot 5, Block T of Briarwyck, Phase 3A recorded in Document No. 2011-61 of the Plat Records of Denton County, Texas (PRDCT) said corner being the most northerly Northeast corner of said Briarwyck, Phase 3A;

THENCE in a westerly direction with the North line of said Briarwyck, Phase 3A the following 4 courses:

South 69 deg. 15 min. 07 sec. West, a distance of 12.14 feet to a 1/2" capped iron pin set for corner;
South 73 deg. 15 min. 59 sec. West, a distance of 39.36 feet to a 1/2" capped iron pin set for corner;
North 76 deg. 19 min. 56 sec. West, a distance of 104.29 feet to a 1/2" capped iron pin set for corner;
North 71 deg. 39 min. 51 sec. West, a distance of 257.23 feet to a 1/2" capped iron pin set in the West right-of-way line of Bentley Drive (30min. R.O.W. width);

THENCE South 18 deg. 21 min. 09 sec. West with the West right-of-way of said Bentley Drive, a distance of 73.53 feet to a 1/2" capped iron pin set for a Point of Curvature of a circular curve to the right having a radius of 525.00 feet, a central angle of 25 deg. 34 min. 14 sec. and being subtended by a chord which bears South 31 deg. 03 min. 15 sec. West, 232.35 feet;

THENCE in a southeasterly direction with said curve to the right and with the West right-of-way of said Bentley Drive, a distance of 234.30 feet to a 1/2" capped iron pin set for corner;

THENCE South 43 deg. 55 min. 23 sec. West tangent to said curve and with the West right-of-way of said Bentley Drive, a distance of 80.82 feet to a 1/2" capped iron pin set for a Point of Curvature of a circular curve to the right having a radius of 790.00 feet, a central angle of 8 deg. 40 min. 26 sec. and being subtended by a chord which bears South 48 deg. 15 min. 36 sec. West, 119.48 feet;

THENCE in a southeasterly direction with said curve to the right and with the West right-of-way of said Bentley Drive, a distance of 119.00 feet to a 1/2" capped iron pin set for corner;

THENCE departing the West right-of-way line of said Bentley Drive North 37 deg. 24 min. 11 sec. West being radial to said curve, a distance of 205.75 feet to a 1/2" capped iron pin set in a Southeast line of Cohort Energy Company Tract recorded in Document No. 2008-10453, and in a Northwest line of said Meritage Homes of Texas, LLC Tract;

THENCE in a northeasterly direction with the Southeast lines of said Cohort Energy Company Tract, the Northwest lines of said Meritage Homes of Texas, LLC Tract the following 12 courses:

North 51 deg. 50 min. 27 sec. East, a distance of 87.49 feet to a 1/2" capped iron pin set for corner;
North 64 deg. 36 min. 16 sec. East, a distance of 49.82 feet to a 1/2" capped iron pin set for corner;
North 77 deg. 18 min. 24 sec. East, a distance of 19.01 feet to a 1/2" capped iron pin set for corner;
North 18 deg. 49 min. 52 sec. East, a distance of 145.51 feet to a 1/2" capped iron pin set for corner;
North 26 deg. 05 min. 34 sec. East, a distance of 96.69 feet to a 1/2" capped iron pin set for corner;
North 20 deg. 03 min. 49 sec. East, a distance of 194.63 feet to a 1/2" capped iron pin set for corner;
North 28 deg. 50 min. 55 sec. East, a distance of 115.41 feet to a 5/8" yellow plastic capped iron rod found for corner (stamped Dunaway Assoc.);
North 71 deg. 56 min. 19 sec. East, a distance of 139.35 feet to a 1/2" capped iron pin set for corner;
North 89 deg. 21 min. 17 sec. East, a distance of 76.18 feet to a 1/2" capped iron pin set for corner;
South 74 deg. 37 min. 46 sec. East, a distance of 222.64 feet to a 1/2" capped iron pin set for corner;
North 51 deg. 29 min. 02 sec. East, a distance of 34.33 feet to a 1/2" capped iron pin set for corner;
South 66 deg. 03 min. 38 sec. East, a distance of 121.97 feet to a 1/2" capped iron pin set for the Southeast corner of said Cohort Energy Company tract and a Southwest corner of the City of Roanoke tract recorded in Document No. 2006-151702 (DRDCT);

THENCE in a easterly direction with the South lines of said City of Roanoke Tract and the North lines of said Meritage Homes of Texas, LLC Tract the following 3 courses:

South 75 deg. 51 min. 18 sec. East, a distance of 113.52 feet to a 1/2" capped iron pin set for corner;
South 72 deg. 36 min. 59 sec. East, a distance of 198.74 feet to a 1/2" capped iron pin set for corner;
South 79 deg. 02 min. 00 sec. East, a distance of 81.40 feet to a 1/2" capped iron pin set for corner;

THENCE departing the South line of said City of Roanoke Tract and the North line of said Meritage Homes of Texas, LLC Tract South 40 deg. 36 min. 46 sec. West, a distance of 95.01 feet to a 1/2" capped iron pin set in the North right-of-way line of said Bentley Drive;

THENCE North 79 deg. 20 min. 38 sec. West with the North right-of-way line of said Bentley Drive, a distance of 70.63 feet to a 1/2" capped iron pin set for corner;

THENCE departing the North right-of-way line of said Bentley Drive South 10 deg. 39 min. 22 sec. West, a distance of 50.00 feet to a 1/2" capped iron pin set in the South right-of-way line of same;

THENCE South 34 deg. 20 min. 38 sec. East, a distance of 21.21 feet to a 1/2" capped iron pin set for corner;

THENCE South 10 deg. 39 min. 22 sec. West, a distance of 66.57 feet to a 1/2" capped iron pin set for a Point of Curvature of a circular curve to the right having a radius of 125.00 feet, a central angle of 36 deg. 02 min. 41 sec. and being subtended by a chord which bears South 28 deg. 40 min. 42 sec. West, 77.35 feet;

THENCE in a southeasterly direction with said curve to the right, a distance of 78.64 feet to a 1/2" capped iron pin set for corner;

THENCE North 61 deg. 57 min. 04 sec. West non-tangent to said curve, a distance of 117.31 feet to a 1/2" capped iron pin set for corner;

THENCE South 85 deg. 09 min. 26 sec. West, a distance of 46.06 feet to a 1/2" capped iron pin set for corner;

THENCE South 64 deg. 12 min. 49 sec. West, a distance of 42.24 feet to a 1/2" capped iron pin set for corner;

THENCE South 60 deg. 38 min. 11 sec. West, a distance of 132.00 feet to a 1/2" capped iron pin set for corner;

THENCE South 69 deg. 15 min. 07 sec. West, a distance of 54.62 feet to the PLACE OF BEGINNING, containing 446060 square feet or 10.240 acres of land.

NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS, THAT MERITAGE HOMES OF TEXAS, LLC, acting by and through the undersigned, their duly authorized agent, does hereby adopt this final plat of BRIARWYCK PHASE 3D, and does hereby dedicate to the public forever the streets and easements shown hereon.

Witness our hand, this the 1st day of May, 2013.

MERITAGE HOMES OF TEXAS, LLC

STATE OF TEXAS
COUNTY OF DENTON

Before me, the undersigned Notary Public in and for said County and State, on this day personally appeared _____ of MERITAGE HOMES OF TEXAS, LLC, known to me to be the person whose name is subscribed to the foregoing instrument and acknowledged to me that they executed the same for the purposes and considerations therein expressed.

Given under my hand and seal of office this the 1st day of May, 2013.

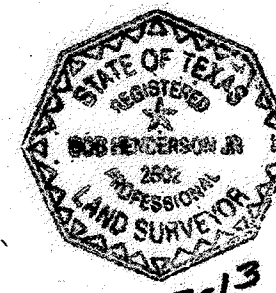
Notary Public, State of Texas

My commission expires 12-22-14

SURVEYOR'S CERTIFICATE

This is to certify that I, Bob Henderson, Jr., a Registered Professional Land Surveyor of the State of Texas, have plotted the above subdivision from an actual on the ground survey, and all lot corners, angle points, and points of the curve shall be properly marked on the ground and that this plat correctly represents that survey made by me or under my direction and supervision.

Bob Henderson, Jr.
Registered Professional Land Surveyor No. 2502
Goodwin and Marshall, Inc.
2405 Mustang Drive
Grapovine, Texas 76051
(817) 329-4373



6-3-13

NOTES:

- 1. The bearings hereon are referenced to Texas State Plane Coordinate System, North Central Zone, NAD83 datum derived from GPS observations.
- 2. All interior property corners are 1/2" rebar with yellow plastic caps stamped "Goodwin & Marshall" set, unless otherwise noted.
- 3. Tract is subject to a Corps of Engineers Flowage Easement as recorded in Volume 471, Page 44 of the Deed Records of Denton County, Texas. All land below elevation 575 masl is subject to this easement and its requirements. Lots 1-23, Block N may be impacted by this easement. Contour information provided by others. Surveyor has not field determined location of the 575 contour.
- 4. Abstract lines as shown are scaled from county maps and are approximate.
- 5. According to Map No. 4812C05156, Dated April 18, 2011, of the FIRM (Flood Insurance Rate Map) for Denton County, Texas and incorporated areas, this property appears to be within Flood Zone "X" (Unshaded, areas determined to be outside the 0.2% annual chance floodplain) and within Zone "AE" (areas of 1% annual chance flood (100-year flood) with Base Flood Elevations determined). The approximate location of the 100-year floodplain as shown is scaled from said FIRM.
- 6. All Well Maintenance Easements (N.M.E.) are to the benefit of the lot on which the retaining wall is built.

ABBREVIATION LEGEND

R.O.W.	RIGHT OF WAY
B.L.	BUILDING LINE
U.E.	UTILITY EASEMENT
D.E.	DRAINAGE EASEMENT
CAB. PG.	CABINET, PAGE
P.R.D.C.T.	PLAT RECORDS, DENTON COUNTY, TEXAS
D.R.D.C.T.	DEED RECORDS, DENTON COUNTY, TEXAS
ESMT.	EASEMENT
C.I.P.F.	CAPPED IRON PIN FOUND
C.I.P.S.	CAPPED IRON PIN SET
SQ. FT.	SQUARE FEET
P.D.E.	PRIVATE DRAINAGE EASEMENT

FINAL PLAT
OF
LOT 12X, BLOCK S, LOTS 13-29, BLOCK S
LOTS 11-21, BLOCK T
BRIARWYCK, PHASES 3D
BEING
BEING 10.240 ACRES
SITUATED IN THE
WILLIAM PERRY SURVEY, ABSTRACT No. 1033,
W.R. KELSEY SURVEY, ABSTRACT No. 705
CITY OF ROANOK, DENTON COUNTY, TEXAS
28 RESIDENTIAL LOTS, 1 NON RESIDENTIAL LOT
OCTOBER, 2012

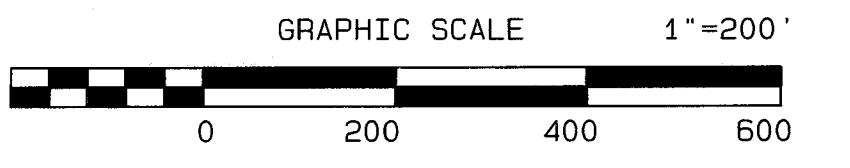
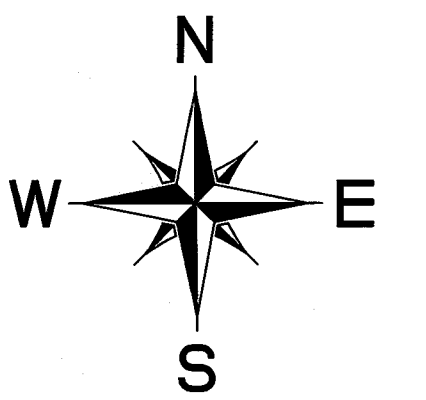
OWNER/DEVELOPER:
MERITAGE HOMES OF TEXAS, LLC
909 HIDDEN RIDGE PARKWAY
SUITE 190
IRVING, TEXAS 75038
PHONE: (972) 580-6351

PREPARED BY:
GOODWIN & MARSHALL
CIVIL ENGINEERS - PLANNERS - SURVEYORS
2405 Mustang Drive, Grapovine, TX 76051
Metro (817) 329-4373

SHEET 2 OF 2
PHASES 3D

Filed for Record
in the official records of
Denton County
On Nov 26, 2012 at 03:40P
To the
Plat Record
BRIARWYCK
Doc. Number 2012- 158
No. of Pages 2
Amount 100.00
Receipt Number - 184170
Patricia Gentry

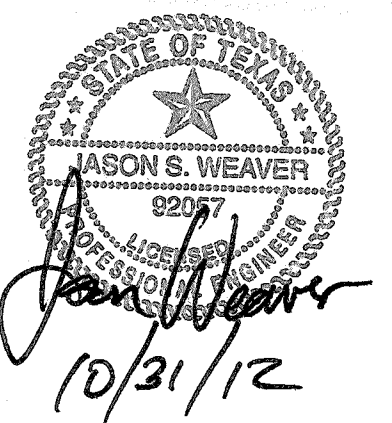
EX-103353-000-PLAT 3D 12-6-10-PRO PLOTTED - FT. WY. 05 09 18 05 2013



PREPARED BY:
GOODWIN AND MARSHALL INC.
 CIVIL ENGINEERS ~ PLANNERS ~ SURVEYORS
 2405 Mustang Drive, Grapevine, Texas 76051
 Metro (817) 329-4373

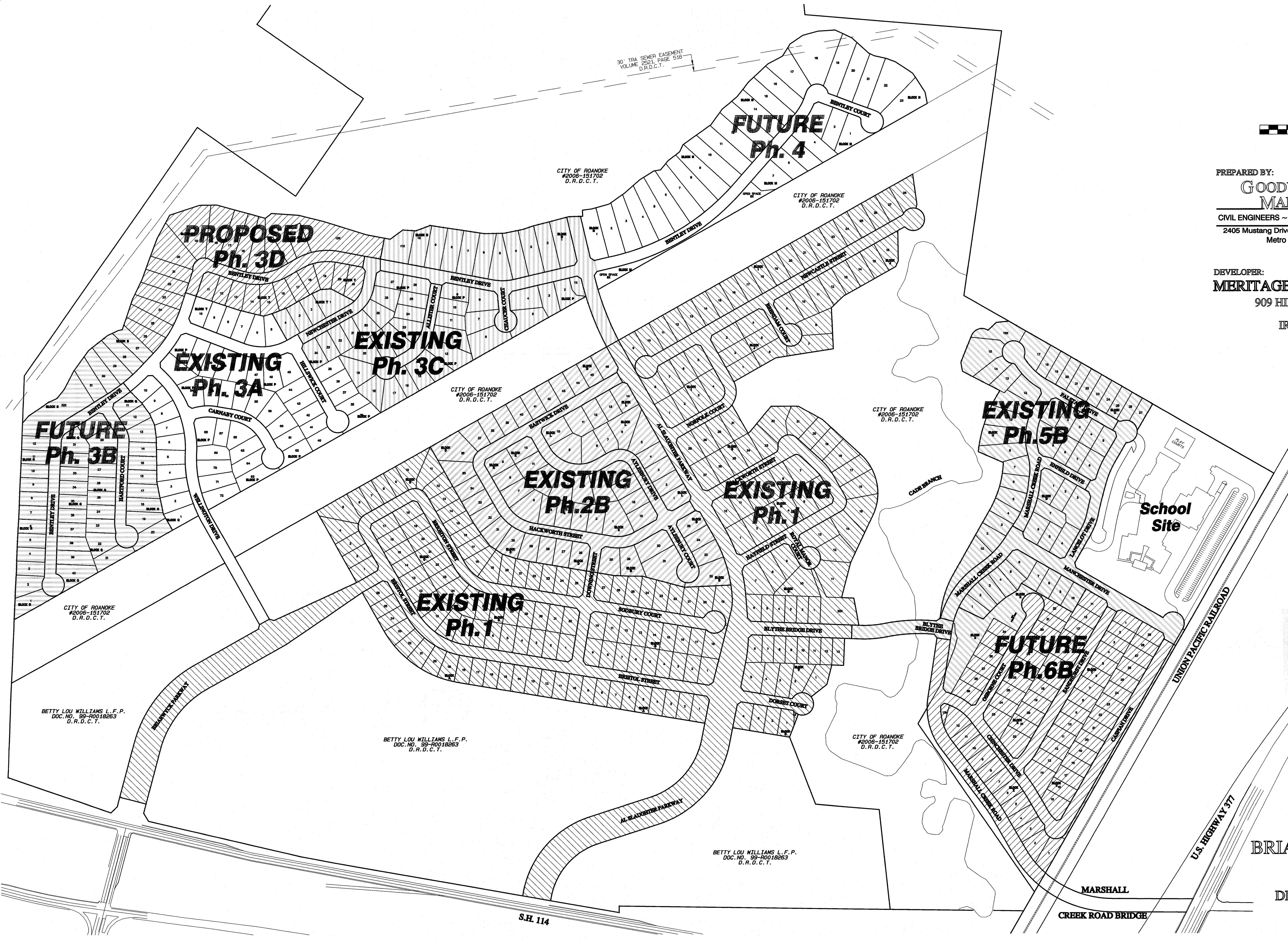
DEVELOPER:
MERITAGE HOMES CORPORATION
 909 HIDDEN RIDGE PARKWAY
 SUITE 190
 IRVING, TEXAS 75038
 (972)580-6351

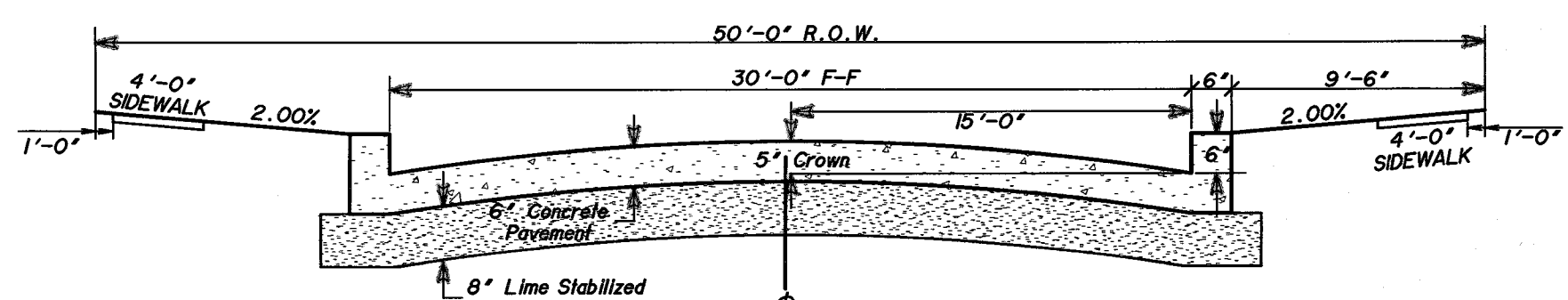
RECORD DRAWING
 THIS RECORD DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION PROVIDED BY OTHERS. GOODWIN & MARSHALL, INC. IS NOT RESPONSIBLE FOR ERRORS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.
 DATE: JUNE 3, 2013



**BRIARWYCK ADDITION
 PHASE MAP
 CITY OF ROANOKE,
 DENTON COUNTY, TEXAS**

SHEET 3 of 21



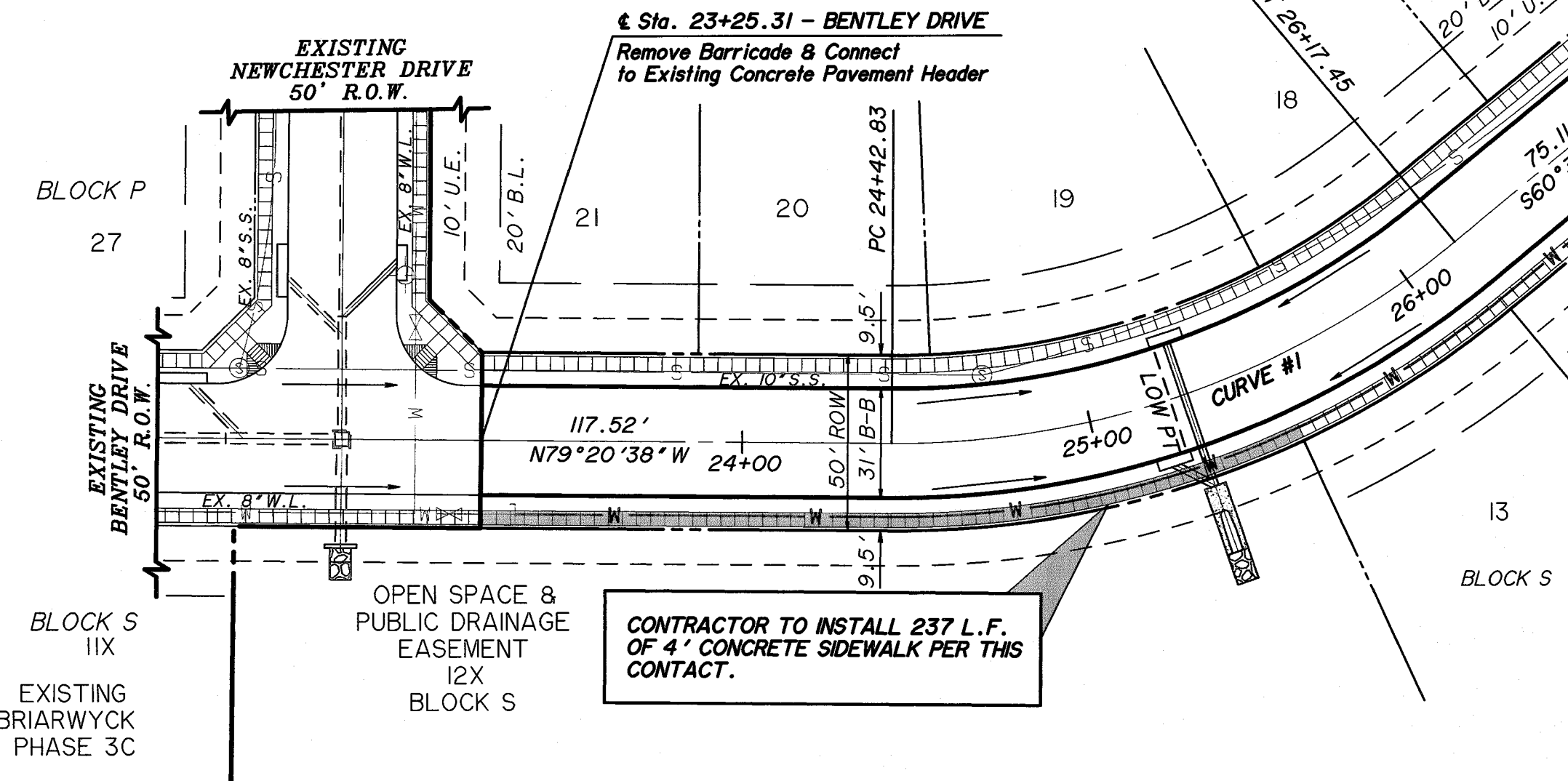


TYPICAL 31' B-B CROSS SECTION
NTS

NOTE: CONCRETE PAVEMENT & SUBGRADE PER CITY OF ROANOKE SPECIFICATIONS

NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT

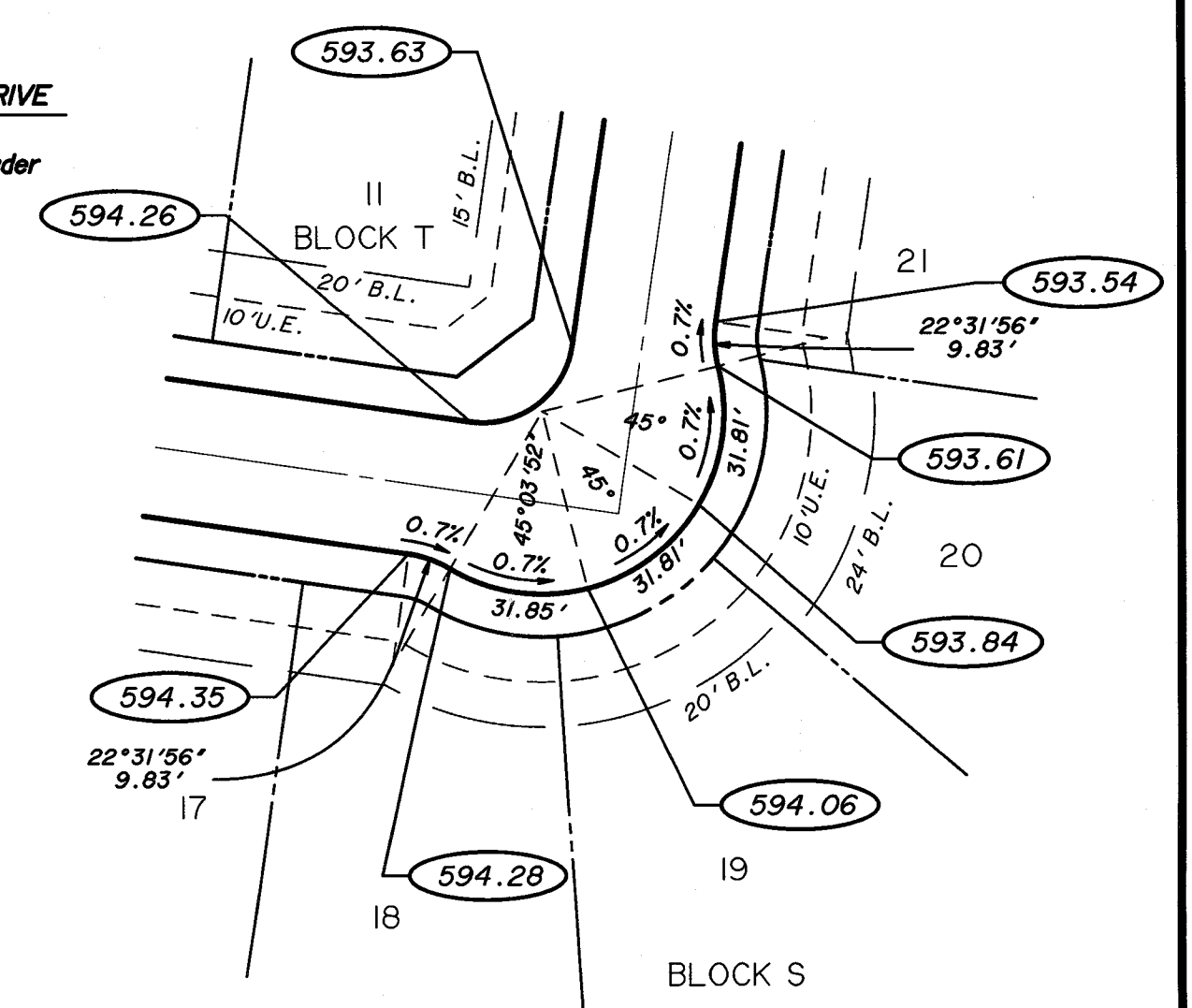
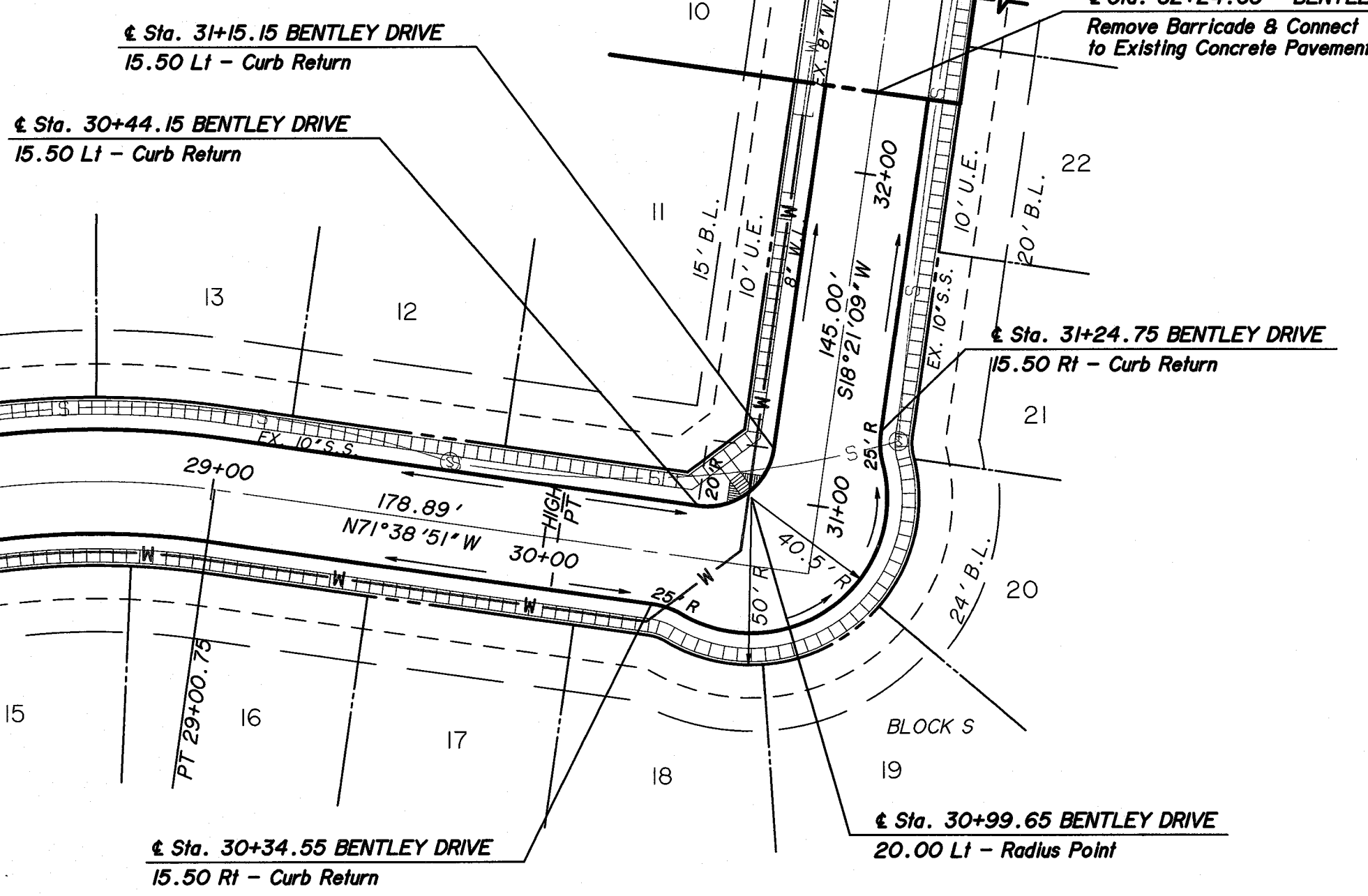
Note: Sidewalk is shown for display purposes only, sidewalk to be constructed by homebuilder unless shown otherwise.



CONTRACTOR TO INSTALL 237 L.F. OF 4" CONCRETE SIDEWALK PER THIS CONTACT.

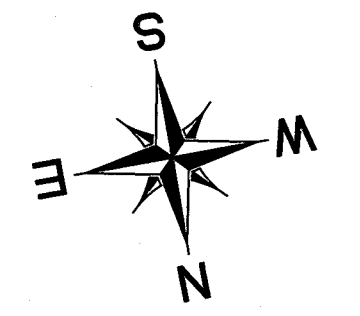
BENTLEY DRIVE - CURVE DATA				
CURVE DATA	DELTA	TANGENT	RADIUS	LENGTH
CURVE #1	40°01'06"	91.04'	250.00'	174.61'
CURVE #2	47°42'53"	110.56'	250.00'	208.19'

BENTLEY DRIVE



ELBOW DETAIL
SCALE: 1" = 40'

NOTE: ALL SPOT ELEVATIONS ARE TOP OF CURB UNLESS OTHERWISE NOTED.



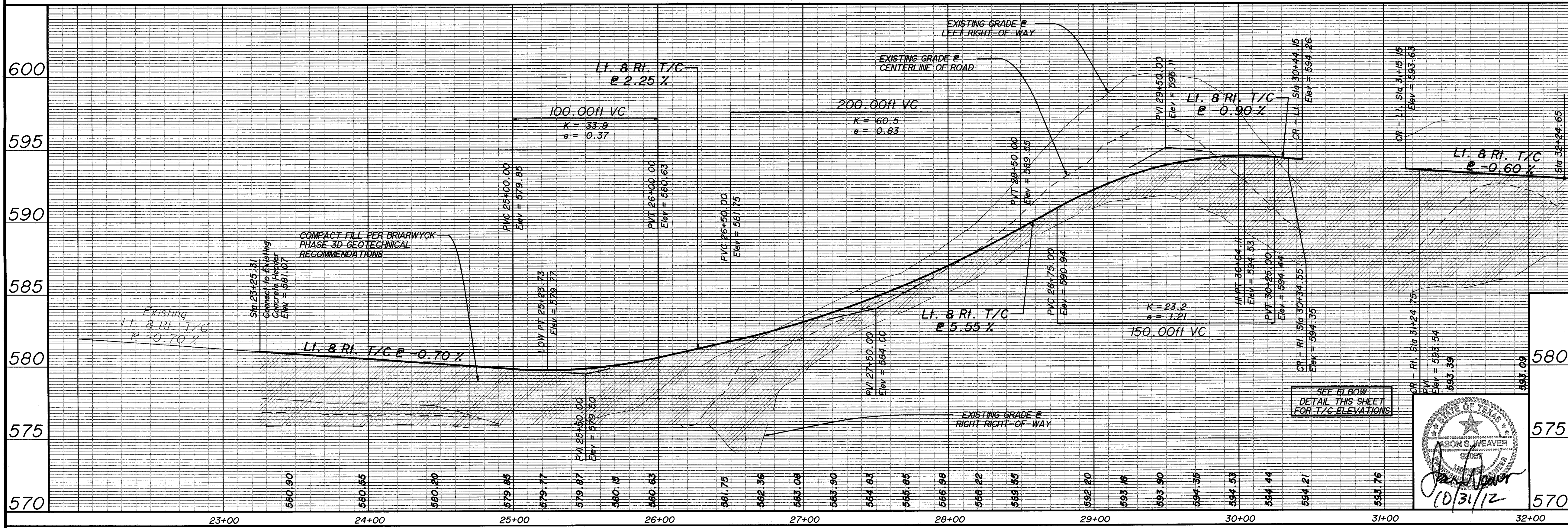
CONTRACTOR NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK, THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

RECORD DRAWING

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DATE: JUNE 3, 2013



PROFILE SCALE
Horizontal Scale: 1" = 40'
Vertical Scale: 1" = 4'

CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION PHASE 3D

CITY OF ROANOKE, TEXAS
BENTLEY DRIVE
STA. 23+25.31 TO 32+24.65

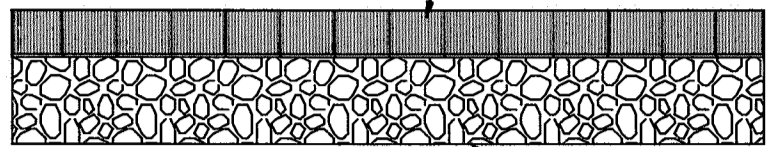
GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS

Job No.: 10323 Design: JSW
Date: OCTOBER 2012 Draft: LJM
Scale: 1" = 40' H, 1" = 4' V Review:
SHEET: 4 of 21

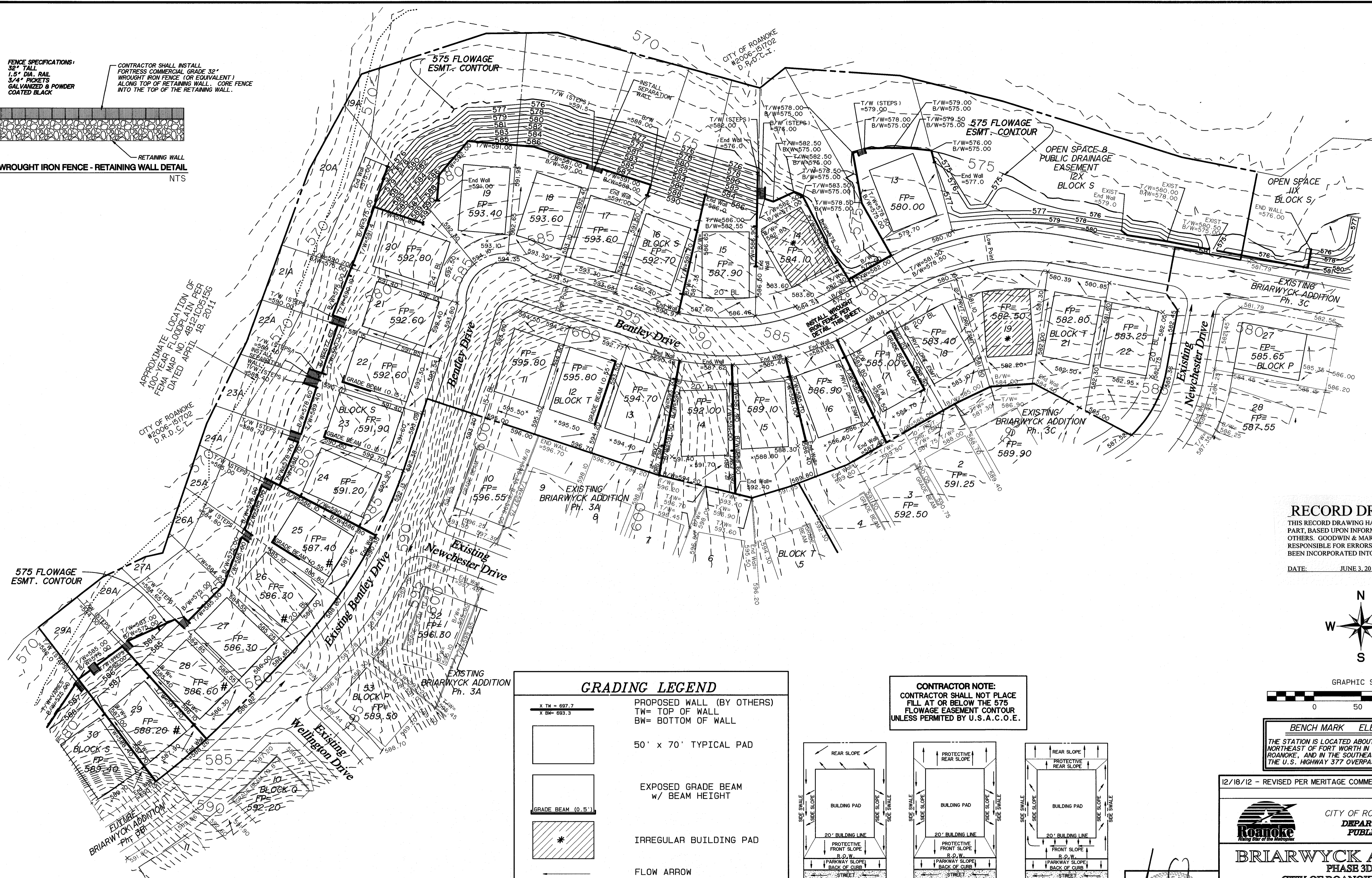
10/31/12

FENCE SPECIFICATIONS:
 32" TALL
 1.5" DIA. RAIL
 3/4" PICKETS
 GALVANIZED & POWDER
 COATED BLACK

CONTRACTOR SHALL INSTALL
 FORTRESS COMMERCIAL GRADE 32"
 WROUGHT IRON FENCE (OR EQUIVALENT)
 ALONG TOP OF RETAINING WALL. CORE FENCE
 INTO THE TOP OF THE RETAINING WALL.



RETAINING WALL
WROUGHT IRON FENCE - RETAINING WALL DETAIL
 NTS

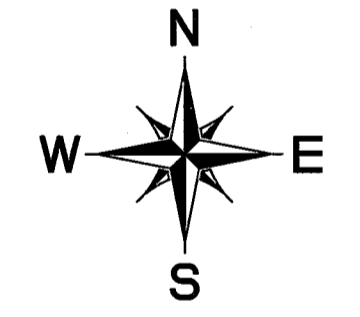


APPROXIMATE LOCATION OF
 FEMA MAP NO. 48121C05156
 DATED APRIL 18, 2011

CITY OF ROANOKE
 #2006-15702
 D.R.D.C.-1

RECORD DRAWING
 THIS RECORD DRAWING HAS BEEN PREPARED, IN
 PART, BASED UPON INFORMATION PROVIDED BY
 OTHERS. GOODWIN & MARSHALL, INC. IS NOT
 RESPONSIBLE FOR ERRORS WHICH MAY HAVE
 BEEN INCORPORATED INTO IT AS A RESULT.

DATE: JUNE 3, 2013

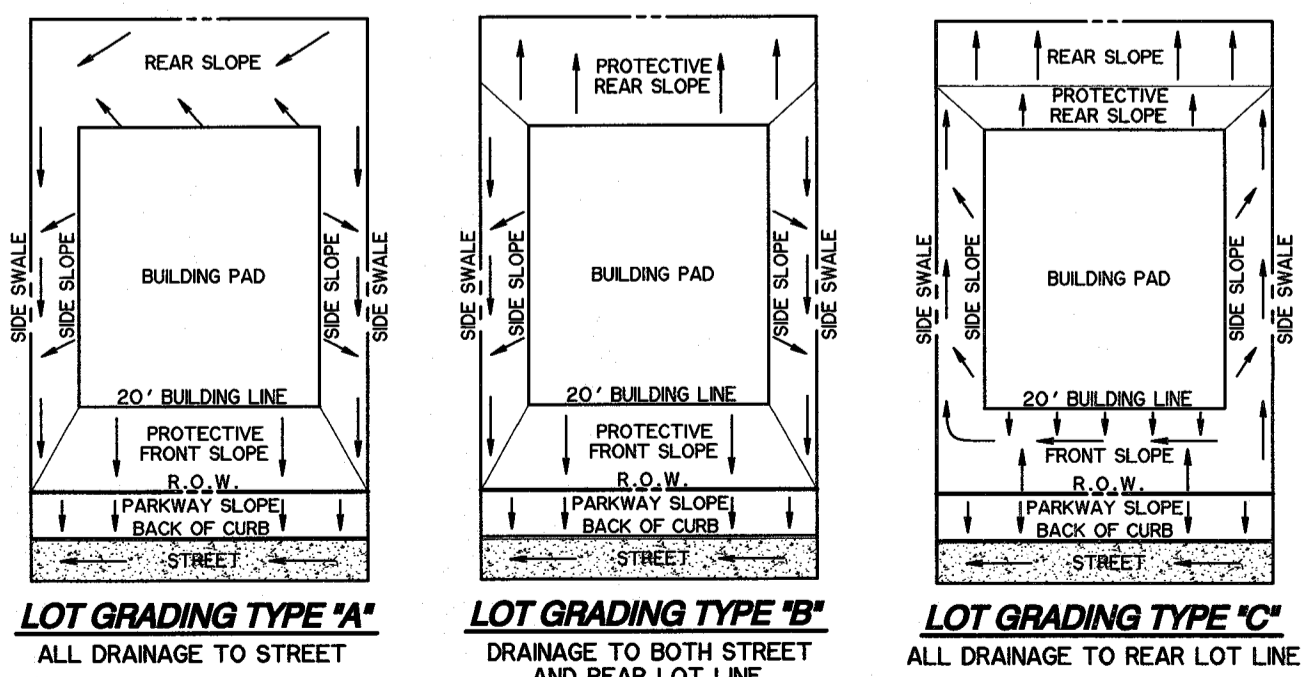


GRAPHIC SCALE 1"=50'
 0 50 100 150

BENCH MARK ELEVATION: 642.27
 THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-
 NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF
 ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF
 THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

GRADING LEGEND	
	PROPOSED WALL (BY OTHERS) TW= TOP OF WALL BW= BOTTOM OF WALL
	50' x 70' TYPICAL PAD
	EXPOSED GRADE BEAM w/ BEAM HEIGHT
	IRREGULAR BUILDING PAD
	FLOW ARROW
	SPOT ELEVATION
	PROPOSED CONTOUR
	EXISTING CONTOUR
	LOW SIDE GARAGE

CONTRACTOR NOTE:
 CONTRACTOR SHALL NOT PLACE
 FILL AT OR BELOW THE 575
 FLOWAGE EASEMENT CONTOUR
 UNLESS PERMITTED BY U.S.A.C.O.E.



NOTE:
 THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS
 APPLY WHETHER INDICATED ON THESE PLANS OR NOT

12/18/12 - REVISED PER MERITAGE COMMENTS

CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

GRADING PLAN

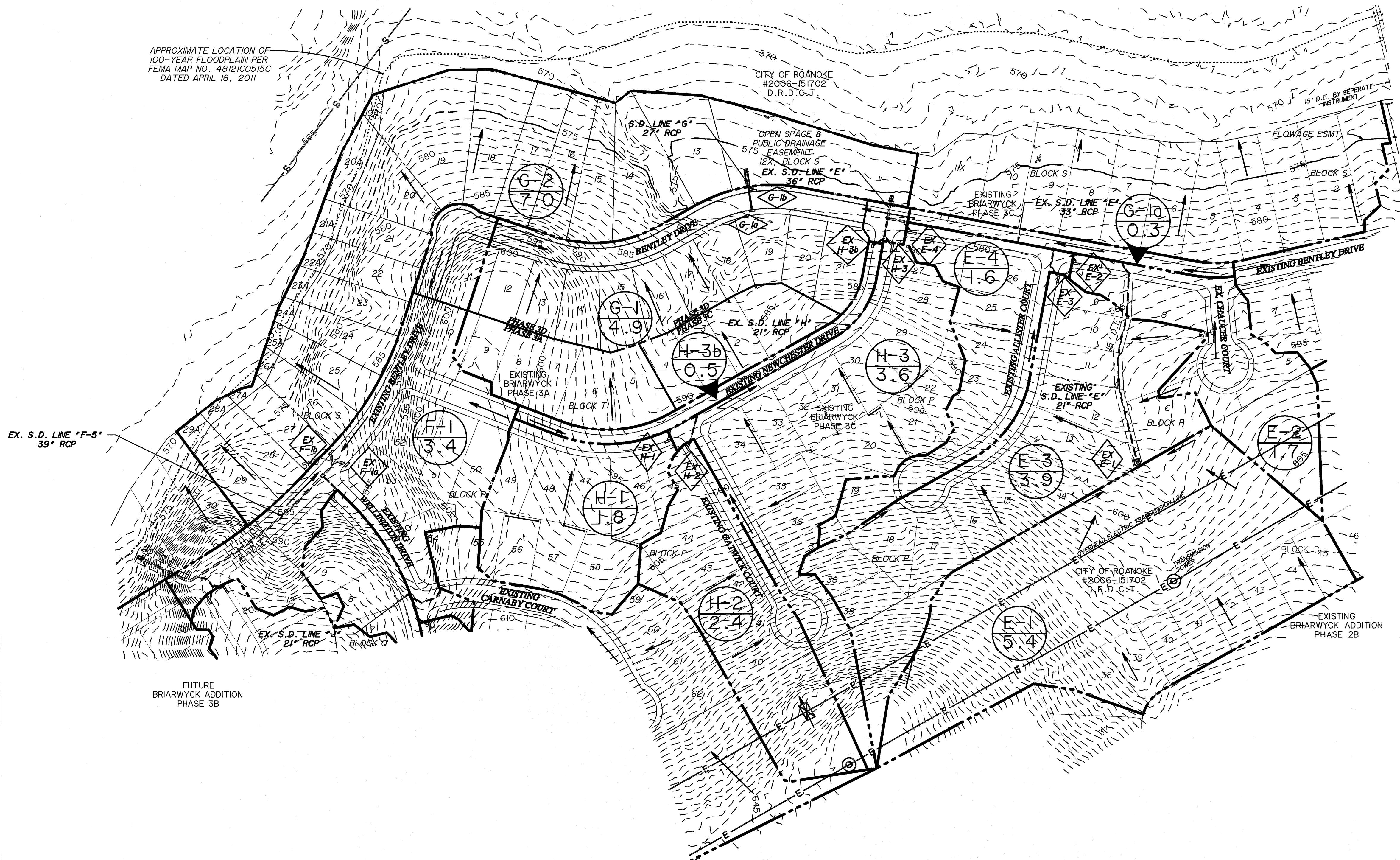
GOODWIN & MARSHALL
 CIVIL ENGINEERS-PLANNERS-SURVEYORS
 2825 MURKIN DRIVE, GARLAND, TEXAS 75042
 TFE Registration # F-2944

Job No.: 10323 Design: JSW
 Date: OCTOBER 2012 Draft: BRM
 Scale: AS SHOWN Review:

SHEET: 5 of 21

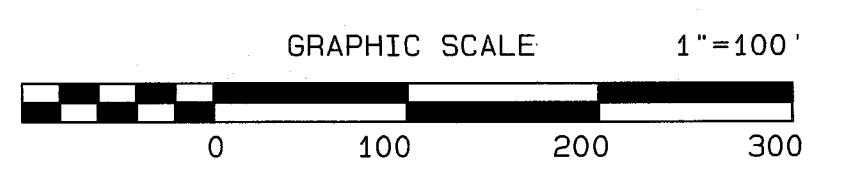
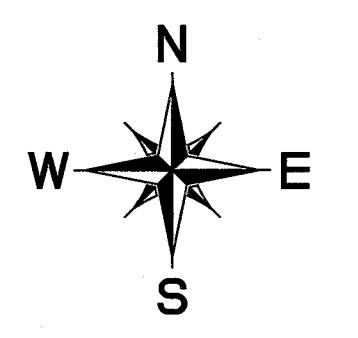
10/31/12

APPROXIMATE LOCATION OF
100-YEAR FLOODPLAIN PER
FEMA MAP NO. 4812C05156
DATED APRIL 18, 2011



LEGEND

- DRAINAGE AREA / ACREAGE
- DRAINAGE AREA DIVIDE
- STORM DRAIN INLET
- STORM DRAIN w/ HEADWALL
- FLOW ARROW (RUNOFF DIRECTION)
- INLET NO.



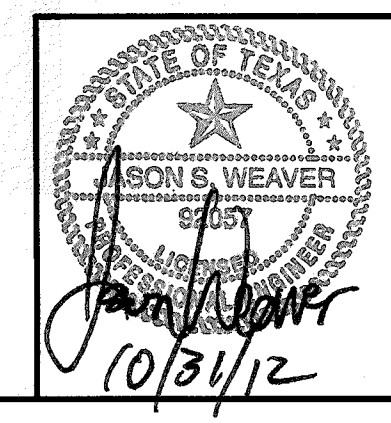
BENCH MARK ELEVATION: 642.27
THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION PROVIDED BY OTHERS. GOODWIN & MARSHALL, INC. IS NOT RESPONSIBLE FOR ERRORS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

DATE: JUNE 3, 2013

NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT



CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

**BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS
DRAINAGE AREA
MAP**

GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS 2465 HUFFMAN DRIVE, GRIFFITHVILLE, TEXAS 76049 TBE Registration # F-0944	Job No. : 10323	Design: JSW
	Date : OCTOBER 2012	Draft: BRM
	Scale : AS SHOWN	Review:
SHEET: 6 of 21		

HYDROLOGIC COMPUTATIONS

SUB-BASIN	Area (ac)	C	CA	Time	I25 (in/hr)	Q25 (cfs)	I100 (in/hr)	Q100 (cfs)	Pickup Point
E-1	5.4	0.44	2.4	15	6.41	15.2	7.91	18.8	Existing Drop Inlet E-1
E-2	1.7	0.50	0.9	15	6.41	5.4	7.91	6.7	Existing On-Grade Inlet E-2
E-3	3.9	0.53	2.1	15	6.41	13.2	7.91	16.3	Existing On-Grade Inlet E-3
E-4	1.6	0.55	0.9	15	6.41	5.6	7.91	7.0	Existing On-Grade Inlet E-4
G-1	4.9	0.55	2.7	15	6.41	17.3	7.91	21.3	Sump Inlets G-1a & G-1b
G-1a	0.3	0.55	0.2	15	6.41	1.1	7.91	1.3	Sump Inlet G-1a
G-1b	7.0	0.55	3.9	15	6.41	24.7	7.91	34.3	Sump Inlet G-1b
H-1	1.8	0.55	1.0	15	6.41	6.3	7.91	7.8	Existing On-Grade Inlet H-1
H-2	2.4	0.50	1.2	15	6.41	7.7	7.91	9.5	Existing On-Grade Inlet H-2
H-3	3.6	0.54	1.9	15	6.41	12.5	7.91	15.4	Existing On-Grade Inlet H-3
H-3b	0.5	0.55	0.3	15	6.41	1.8	7.91	2.2	Existing On-Grade Inlet H-3b
F-1	3.4	0.55	1.9	15	6.41	12.0	7.91	14.8	EX. Sump Inlets F-1a & F-1b

NOTES:
1. THE RUNOFF COEFFICIENTS (C-VALUES) FOR DRAINAGE AREAS E-1, E-2, E-3, H-2, & H-3 ARE WEIGHTED VALUES BASED ON THE COMBINATION OF RESIDENTIAL AND PARK AREAS.

SUMP INLET DESIGN CALCULATIONS

Inlet No.	Gutter Slope So (ft/ft)	Crown Slope of Pmnt. (ft/ft)	Gutter Flow Qo (cfs)	Depth of Gutter Flow Yo (ft)	Depth of Depression (ft)	Depth of Flow at Opening Y (ft)	Capacity of Inlet per Foot of Length Q/L (cfs/ft)	Length of Inlet Opening L or P (ft)	Capacity of Inlet Q (cfs)	Carryover into Over Flow (ft/ft)	Percent Q100 Captured by Inlet	NOTES
G-1a	0.007	30' / 5"	15.3	0.50	0.42	0.92	2.65	10	26.5	0.00	100.0	Includes One-half of the Carryover Flow from Inlets H-3 & H-3b (1.2 cfs), 8.1 cfs BYPASS FROM COMBINED DISCHARGE FLOWING TOWARD INLET E-4 AND AREA G-1a, and THE 100-YR DISCHARGE FROM G-1
G-1b	0.007	30' / 5"	15.3	0.50	0.42	0.92	2.65	10	26.5	0.00	100.0	Includes One-half of the Carryover Flow from Inlets H-3 & H-3b (1.2 cfs), 8.1 cfs BYPASS FROM COMBINED DISCHARGE FLOWING TOWARD INLET E-4 AND AREA G-1a, and THE 100-YR DISCHARGE FROM G-1

EXISTING ON-GRADE INLET DESIGN CALCULATIONS

INLET #	Drainage Area (acres)	Conc. Time (min)	25-year Intensity (in/hr)	25-year Runoff (cfs)	25-year Carryover Flow (cfs)	25-year Total Gutter Q (cfs)	'So' Street Long Slope (ft/ft)	Street Section (type)	Manning's Coefficient for pavement 'n'	Street Capacity (cfs)	100-year Intensity (in/hr)	100-year Q (cfs)	100-year Carry Over Q (cfs)	100-year Total Gutter Q (cfs)	Right-of-Way Capacity (cfs)	Design Storm	Depth of Flow 'Yo' (ft)	Spread of Flow (Sp) (ft)	Pickup Per Foot Qo/Lo (cfs/ft)	Length Required Lo (ft)	Length Provided L (ft)	L/Lo	Q/Qo	Inlet Capacity (cfs)	100-year Carryover Flow 'q'	NOTES
Ex. E-2	E-2 1.7	0.50	15	6.41	5.4	4.3	0.0070	Parabolic	0.016	18.4	7.91	6.7		4.3	42.3	100	0.42	15.0	0.887288	7.577585	10	1.32	0.48	8.9	2.4	2.4 cfs Crests Crown to Area G-1a (Contributes to E-4 Discharge)
Ex. E-3	E-3 3.9	0.53	15	6.41	13.2	8.7 ^b	0.0149	Parabolic	0.016	26.8	7.91	16.3		10.75 ^b	61.8	100	0.48	15.0	0.953915	17.13986	15	0.88	0.93	14.3	5.55	Carryover Flow to Inlet E-4
Ex. E-4	E-4 1.6	0.55	15	6.41	5.6	6.1 ^c	0.0070	Parabolic	0.016	18.4	7.91	7.0	5.55	8.1 ^c	42.3	100	0.49	15.0	0.965195	7.21804	10	1.39	0.58	9.7	0.0	
Ex. H-1	H-1 1.8	0.55	15	6.41	6.3	6.3	0.0267	Parabolic	0.016	35.9	7.91	7.8		7.8	82.7	100	0.38	11.7	0.843893	9.279498	10	1.08	0.75	8.4	0.0	
Ex. H-2	H-2 2.4	0.50	15	6.41	7.7	7.7 ^d	0.0634	Parabolic	0.016	55.3	7.91	9.5		9.5 ^d	127.4	100	0.33	8.3	0.790828	12.0261	10	0.83	0.97	7.9	1.6	Carryover Flow to Inlet H-3
Ex. H-3	H-3 3.6	0.54	15	6.41	12.5	7.15 ^d	0.0327	Parabolic	0.016	39.7	7.91	15.4	1.6	9.6 ^d	91.5	100	0.43	15.0	0.898266	17.11859	10	0.58	1.39	9.0	0.6	Carryover Flow to Future Inlets G-1a & G-1b
Ex. H-3b	H-3b 0.5	0.55	15	6.41	1.8	7.15 ^d	0.0327	Parabolic	0.016	39.7	7.91	2.2		9.6 ^d	91.5	100	0.43	15.0	0.898266	2.421611	10	4.13	0.20	9.0	0.6	Carryover Flow to Future Inlets G-1a & G-1b

- ^a BENTLEY DRIVE HAS A STREET CAPACITY OF 4.3 CFS FOR 1/2 OF THE STREET UP TO THE CROWN HEIGHT OF 5' FOR THE 0.70% STREET SLOPE. THEREFORE ANY DISCHARGE IN EXCESS OF THIS AMOUNT FROM DRAINAGE AREA E-2 CRESTS THE CENTERLINE OF THE STREET AND COMBINES WITH DRAINAGE AREA G-1a, AND THE MAXIMUM 100-YR FLOW TO INLET E-2 IS 4.3 CFS.
- ^b APPROXIMATELY 1.2 ACRES OF SUB-BASIN E-4 IS LOCATED ALONG THE WEST SIDE OF ALLISTER COURT AND HAS A 100-YR DISCHARGE OF 5.2 CFS. THIS AREA IS SHOWN ON THE DRAINAGE AREA MAP ON SHEET II. THIS PORTION OF DRAINAGE AREA E-4 COMBINES WITH DRAINAGE AREA E-3 FOR A TOTAL 100-YEAR FLOW OF 21.5 CFS. THIS COMBINED FLOW RESULTS IN A FULL FLOWING STREET AS THE DISCHARGE APPROACHES INLET E-3. THEREFORE, 1/2 OF THIS RUNOFF AMOUNT (10.75 CFS) IS CONTAINED ON THE EAST SIDE OF ALLISTER COURT AND COLLECTED BY E-3. THE REMAINING FLOW TURNS THE CORNER AT BENTLEY DRIVE AND FLOWS TO INLET E-4. THE SAME SCENARIO HOLDS TRUE FOR THE 25-YR EVENT, WHERE 8.7 CFS IS SPLIT ON EACH SIDE OF THE STREET.
- ^c 10.75 CFS TURN THE CORNER AT ALLISTER COURT FROM THE COMBINED FLOW OF AREAS E-3 AND THE 1.2 ACRE PORTION OF E-4. THIS DISCHARGE COMBINES WITH THE REMAINING 0.4 ACRES OF AREA E-4 FOR A COMBINED DISCHARGE OF 12.5 CFS. THE DISCHARGE FROM AREA G-1a AND THE OVERFLOW OF 2.4 CFS FROM AREA E-2 IS ADDED TO THIS DISCHARGE FOR A TOTAL 100-YR RUNOFF OF 16.2 CFS WITHIN BENTLEY DRIVE APPROACHING INLET E-4. THE TOTAL 16.2 CFS DISCHARGE RESULTS IN A FULL FLOWING STREET. THEREFORE, 8.1 CFS IS CARRIED IN EACH GUTTER AND IS THE MAXIMUM 100-YEAR DISCHARGE CONVEYED BY INLET E-4. THE REMAINING 8.1 CFS BYPASSES DOWNSTREAM TO FUTURE SUMP INLETS G-1a AND G-1b IN FUTURE PHASE 3D. 12.2 CFS IS CONVEYED FOR THE 25-YR STORM TO INLET E-4, WHERE 6.1 CFS IS SPLIT IN EACH GUTTER.
- ^d A TOTAL 19.2 CFS IS CONVEYED IN NEWCHESTER DRIVE FOR THE 100-YR FREQUENCY STORM AND RESULTS IN A FULL FLOWING STREET. THIS DISCHARGE IS A COMBINATION OF THE DISCHARGE FROM DRAINAGE AREAS H-3 AND H-3b, AND THE 100-YR BYPASS OF 1.6 CFS FROM EX. INLET H-2. THIS RESULTING FLOW HAS A DEPTH OF 0.43' AND INLETS H-3 AND H-3b CAPTURE 9.0 CFS EACH AND BYPASS 0.6 CFS TO FUTURE DOWNSTREAM SUMP INLETS G-1a AND G-1b IN BRIARWYCK 3D. THE COMBINED 25-YR DISCHARGE FROM AREAS H-3 AND H-3b RESULTS IN A FULL FLOWING STREET, AND 7.15 CFS IS CARRIED IN EACH GUTTER TO THE RESPECTIVE INLETS H-3 AND H-3b.

STREET & R.O.W. CAPACITY

STREET	INLETS	INLET TYPE	Q25 (cfs)	Q100 (cfs)	STREET TYPE	STREET SLOPE	STREET CAPACITY (cfs)	ROW CAPACITY (cfs)
BENTLEY DRIVE	G-1a & G-1b	SUMP	23.4*	30.6*	30' F-F	0.70%	18.4	42.3

* 10 CFS & 14.1 CFS APPROACH INLETS G-1A & G-1B FROM THE EAST FOR THE 25-YEAR & 100-YEAR STORMS RESPECTIVELY.
13.4 CFS & 16.5 CFS APPROACH INLETS G-1A & G-1B FROM THE WEST FOR THE 25-YEAR & 100-YEAR STORMS RESPECTIVELY.

HYDRAULIC CALCULATIONS - S.D. LINE "G-1"

Project : Briarwyck Addition - Phase 3D S.D. LINE "G-1"
Location : Roanoke, TX
Date : 10/15/12
Pipe "n": 0.013

D/S HGL : 577.25

Junction No.	From Design Point	To	Distance Between Junctions (ft.)	Drainage Area		Coeff of Runoff "C"	Incrment "CA"	Total "CA"	Discharge					Conduit Size			Head Loss at Change in Section							Elev H.G. at Design Point (m.s.l.)	Invert Elev.		Top of Curb/Ground Elev.										
				Increment Area (ac.)	Total Area (ac.)				Intensity	Flow	Intensity	Flow	Incremental Carry-Over to Pick-Up Point	Total Flow In System	Total Carry-Over	Total Flow In Pipe Q (c.f.s.)	Pipe Dia. (in.)	Box Height (ft.)	Width (ft.)	Friction Grad (ft./ft.)	Slope of Elevation Up Stream (m.s.l.)	Slope of Elevation Down Stream (m.s.l.)	Inflow Velocity V1 (ft./sec.)		Outflow Velocity V2 (ft./sec.)	Velocity Head Vh2 (ft.)		Velocity Head Vh1 (ft.)	Loss Coef K	K x Vh1 (ft.)	Head Loss Hf (ft.)	From	To				
																																		I25 (in./hr)	Q25 (c.f.s.)	I100 (in./hr)	Q100 (c.f.s.)
62.84	20.05	20.05	42.79	G-1	2.45	0.55	1.35	1.35	15	0.00	15.00	6.4	8.7	7.9	10.7	4.6	15.3	0.0	15.3	27				0.0024	578.30	578.19	0.00	3.85	0.23	0.00	1.25	0.00	0.23	578.53	575.16	575.05	579.77
20.05	0.00	20.05	20.05	G-1	2.45	0.55	1.35	2.70	15	0.02	15.02	6.4	17.3	7.9	21.3	9.3	30.6	0.0	30.6	27				0.0098	577.45	577.25	3.85	7.70	0.92	0.23	0.75	0.17	0.75	578.11	575.05	575.00	580.00

RECORD DRAWING

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DATE: JUNE 3, 2013

NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT

BENCH MARK ELEVATION: 642.27

THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

STORM DRAIN SYSTEM DESIGN CRITERIA & CALCULATIONS

CITY OF ROANOKE DRAINAGE DESIGN CRITERIA

HYDRAULIC SECTIONS

BASIS: MANNINGS FORMULA WITH-
n = 0.050 EARTH CHANNELS AND DITCHES
n = 0.016 CONCRETE PAVEMENT AND CULVERTS
n = 0.035 GRASS CHANNELS AND DITCHES
n = 0.015 ASPHALT PAVEMENT
n = 0.013 CONCRETE CONDUITS
n = 0.012 CONCRETE CONDUITS W/O WYE CONNECTIONS
n = 0.022 CORRUGATED PIPE

STREET CAPACITY (30' F-F, 5' CROWN, 6' CURB)

$$Q = (1.486 / n) A S^{1/2} R^{2/3}$$

$$Q = (1.486 / 0.016) (6.67) (S)^{1/2} (0.211)^{2/3} = 219.56 S^{1/2}$$

$$Q = 219.56 S^{1/2}$$

R.O.W. CAPACITY (50' R.O.W./30' F-F, 5' CROWN, 6' CURB)

$$\text{COMPOSITE } n = 0.016 (40.0)^{1/51} + 0.03 (11)^{1/51} = 0.019$$

$$A = 14.77 S F$$

$$R = 51.00 F$$

$$Q = (1.486 / 0.019) (14.77) (S)^{1/2} (0.290)^{2/3} = 506.11 S^{1/2}$$

$$Q = 506.11 S^{1/2}$$

MINIMUM CARRYING CAPACITY OF COMBINED STREET AND RIGHT-OF-WAY.

INLET CAPACITY CALCULATIONS

CITY OF ROANOKE DRAINAGE DESIGN CRITERIA

DROP INLET: Q/P or Q/L = 3.0 H^{3/2}

Q = STORM DRAINAGE DISCHARGE (cfs)
P = PERIMETER OF INLET OPENING (ft)
H = yo + a (DEPTH OF FLOW AT OPENING) (ft)
yo = DEPTH OF THROAT (ft)
a = DEPTH OF INLET DEPRESSION (ft)

$$\text{ON GRADE INLET WITH GUTTER DEPRESSION: } Q/L = 0.7 [1 / (H_1 - H_2)]^{5/2} [(H_1)^{5/2} - (H_2)^{5/2}]$$

Q = STORM DRAINAGE DISCHARGE (cfs)
L = LENGTH OF INLET OPENING (ft)
H₁ = yo + a (DEPTH OF FLOW AT OPENING) (ft)
H₂ = a (INLET DEPRESSION IN FEET)
yo = DEPTH OF FLOW IN GUTTER (ft)
a = DEPTH OF INLET DEPRESSION (ft)

DRAINAGE DESIGN CRITERIA

RUNOFF COMPUTATIONS:

BASIS: RATIONAL METHOD Q = C*I*A
Q = STORM DRAINAGE DISCHARGE (cfs) AT DESIGN POINT
C = RUNOFF COEFFICIENT
I = DESIGN STORM INTENSITY (INCHES PER HOUR)
A = DRAINAGE AREA (ACRES)

RUNOFF COEFFICIENT: C = 0.55 RESIDENTIAL
C = 0.40 PARKS

INTENSITY: RAINFALL INTENSITY - DURATION - FREQUENCY CURVES FOR AREA TAKEN FROM CITY OF ROANOKE DRAINAGE DESIGN CRITERIA

STORM FREQUENCY: 100 YEAR - ENCLOSED PIPE SYSTEM AND RIGHT-OF-WAY
25 YEAR - CURB AND GUTTER

TIME OF CONCENTRATION: COMBINATION OF INLET TIME + TIME OF FLOW IN THE DRAIN

INLET TIME: BEING THE TIME FOR WATER TO FLOW OVER THE SURFACE OF THE GROUND TO THE STORM DRAIN INLET (ONSITE + OFFSITE, IF APPLICABLE)

MINIMUM INLET TIME OF CONCENTRATION:

TYPE OF AREA	MINIMUM INLET TIME
COMMERCIAL	10 MINUTES
RESIDENTIAL	15 MINUTES

MANNING'S ROUGHNESS COEFFICIENT:

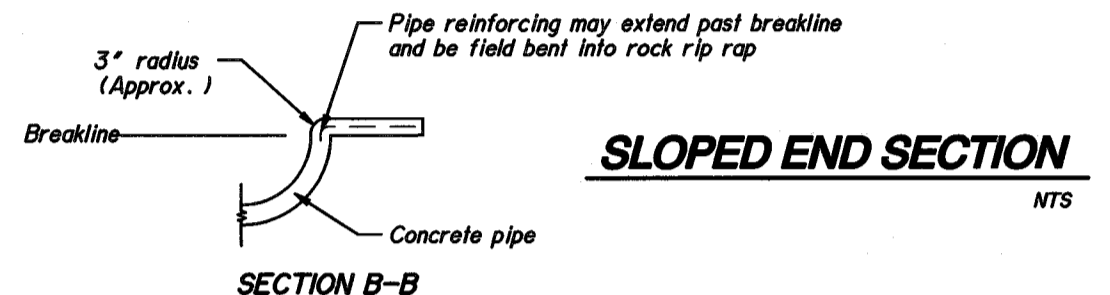
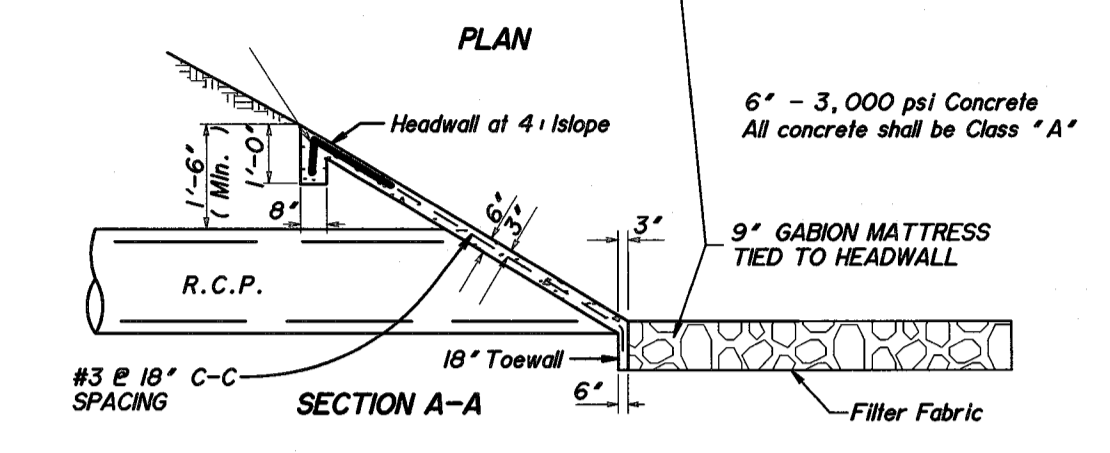
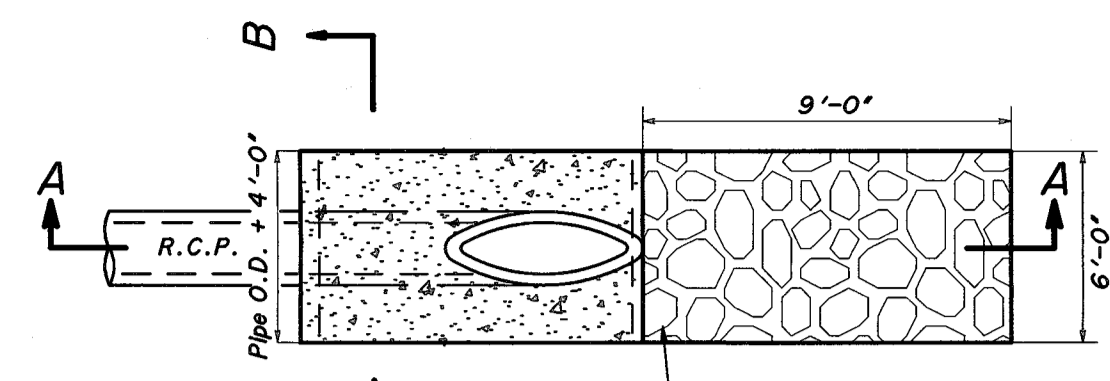
n = 0.013 - CONCRETE PIPES
n = 0.035 - EARTHEN DITCHES
n = 0.016 - CONCRETE PAVEMENT

CITY OF ROANOKE, TEXAS
DEPARTMENT OF
PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS
DRAINAGE CRITERIA
AND NOTES

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2405 MURRAY DRIVE, GARLAND, TEXAS 75042
TDC Registration # F-2944

Job No. : 10323 Design: JSW
Date : OCTOBER 2012 Draft: BRM
Scale : AS SHOWN Review:
SHEET: 7 of 21

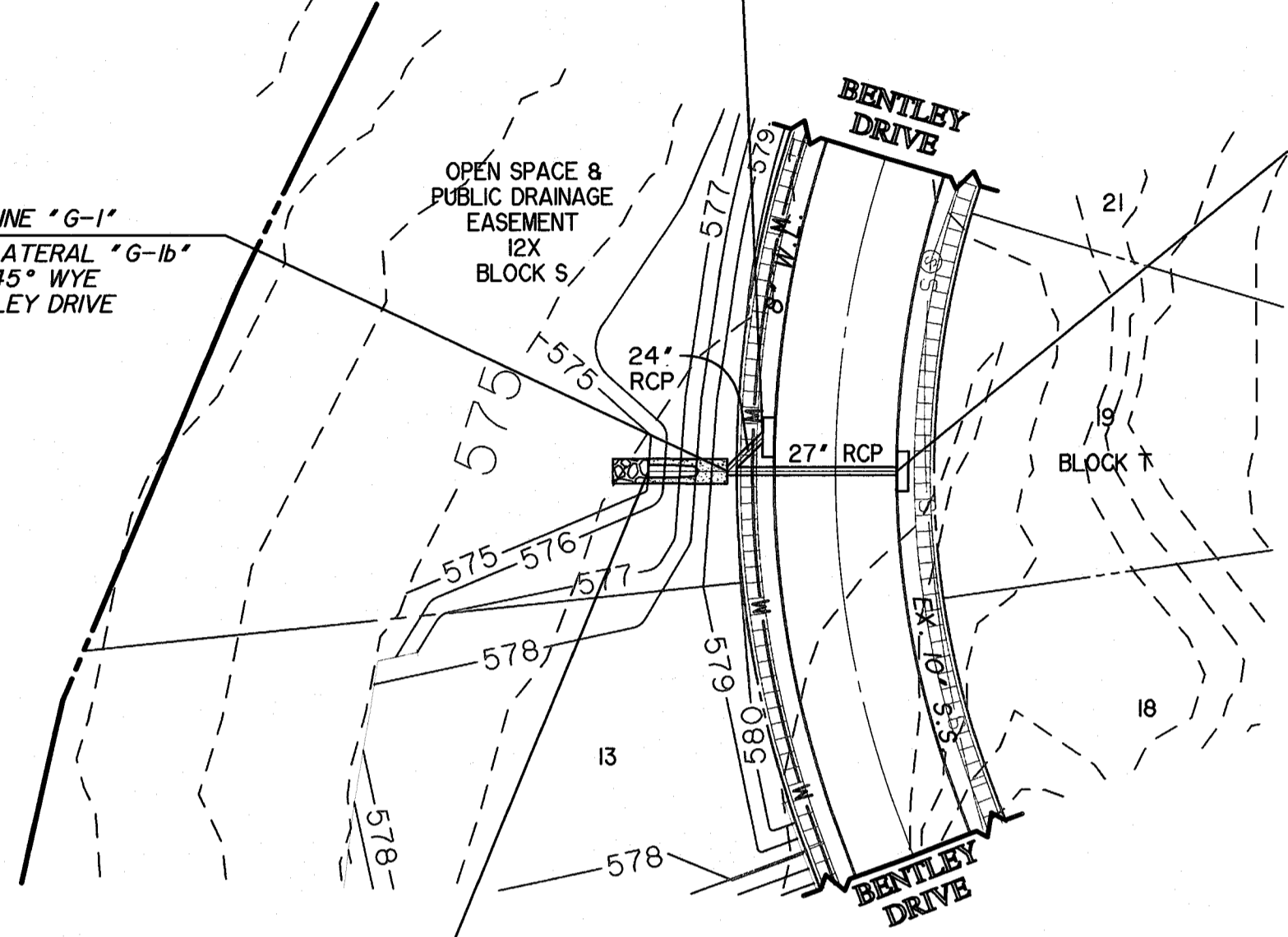


CONTRACTOR NOTE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PRIVATE OR PUBLIC, PRIOR TO EXCAVATING. THE INFORMATION AND DATA SHOWN WITH RESPECT TO EXISTING UNDERGROUND FACILITIES AT OR CONTIGUOUS TO THE SITE IS APPROXIMATE AND BASED ON INFORMATION AND DATA FURNISHED BY THE OWNERS OF SUCH UNDERGROUND FACILITIES OR ON PHYSICAL APPURTENANCES OBSERVED IN THE FIELD. THE OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF ANY SUCH INFORMATION OR DATA, AND THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA, FOR LOCATING ALL UNDERGROUND FACILITIES, FOR COORDINATION OF THE WORK WITH THE OWNERS OF SUCH UNDERGROUND FACILITIES DURING CONSTRUCTION, FOR THE SAFETY AND PROTECTION THEREOF, AND REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL OF WHICH WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO FIELD VERIFY ALL ABOVE GROUND AND UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY UTILITIES ENCOUNTERED DURING THE COURSE OF CONSTRUCTION.

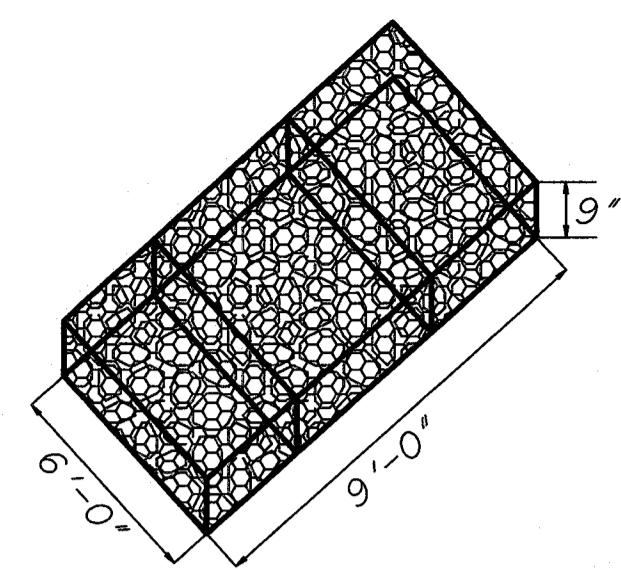
Sta. 0+12.35 S.D. LAT "G-1b"
 CONSTRUCT 10' SUMP INLET "G-1b"
 Sta. 25+19.95 BENTLEY DRIVE
 15.48 RI
 INSIDE FRONT OF FACE @ BACK OF CURB
 E 24" RCP = 575.33
 T/C ELEV = 579.83

Sta. 0+20.05 S.D. LINE "G-1"
 Sta. 0+00.00 S.D. LATERAL "G-1b"
 INSTALL 27" x 24" 45° WYE
 Sta. 25+27.98 BENTLEY DRIVE
 27.27 RI



Sta. 0+00.00 S.D. LINE "G-1"
 27" SLOPED END HEADWALL
 INSTALL 6 S.Y. OF 9" THICK
 GABION MATTRESS
 E 27" R.C.P. = 575.00

Sta. 0+62.84 S.D. LINE "G-1"
 INSIDE FRONT OF FACE @ BACK OF CURB
 CONSTRUCT 10' SUMP INLET "G-1a"
 Sta. 25+27.98 BENTLEY DRIVE
 15.52 LI
 E 27" RCP = 575.16
 T/C ELEV = 579.77

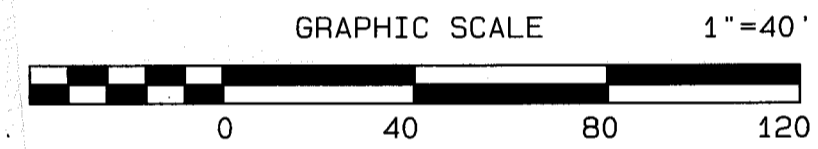
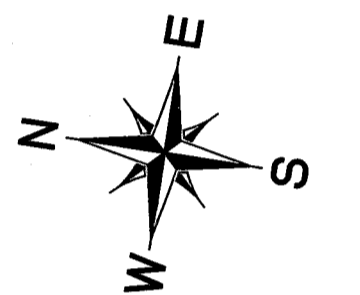


GABION MATTRESS DETAIL
 NTS

MATTRESSES - PVC COATED	
Wire Mesh	per ASTM A185
Mesh Opening	1.5" x 3"
Mesh Wire Diameter	0.087" - US Gauge 13.5 + PVC COATING
Spiral Binder Diameter	0.106" - US Gauge 12 + PVC COATING
Lacing Wire Diameter	0.087" - US Gauge 13.5 + PVC COATING
Zinc Coating	ASTM A641

TYPICAL MATTRESSES SIZES						
Length (ft.)	Width (ft.)	Height (in.)	Number of cells	Capacity (Cu. Yds.)	Discharge Velocity	Filling Stone Range
9'	6'	9"	3	1.5	* 7.7 fps	* 3" - 4"

* STONE SIZE AND ALLOWABLE VELOCITIES FOR GABIONS - TABLE 4.4-9 (ISWM DESIGN MANUAL)



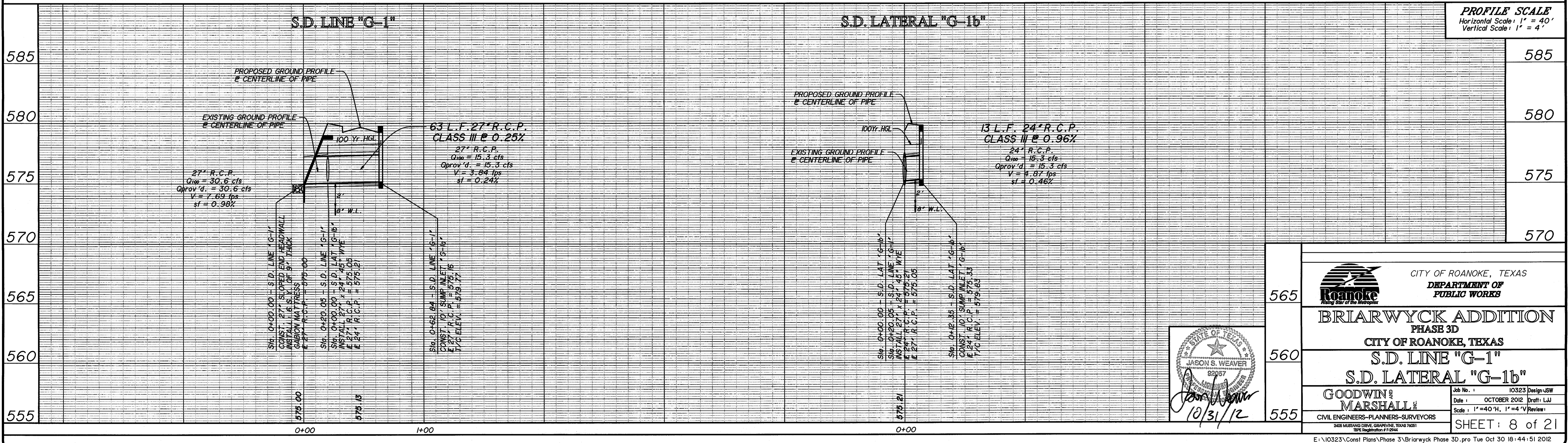
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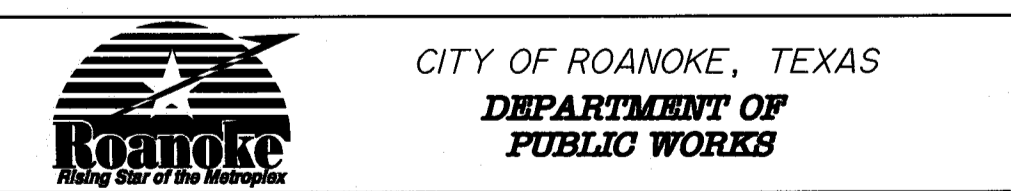
DATE: JUNE 3, 2013

NOTE:
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BENCH MARK ELEVATION: 642.27
 THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

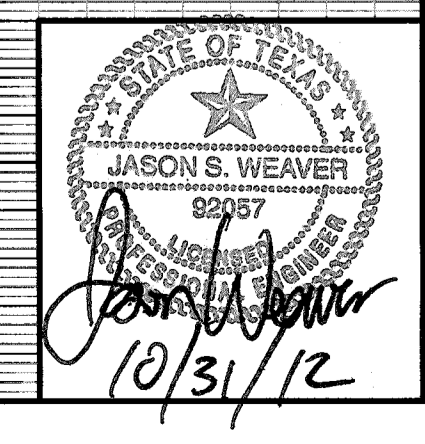


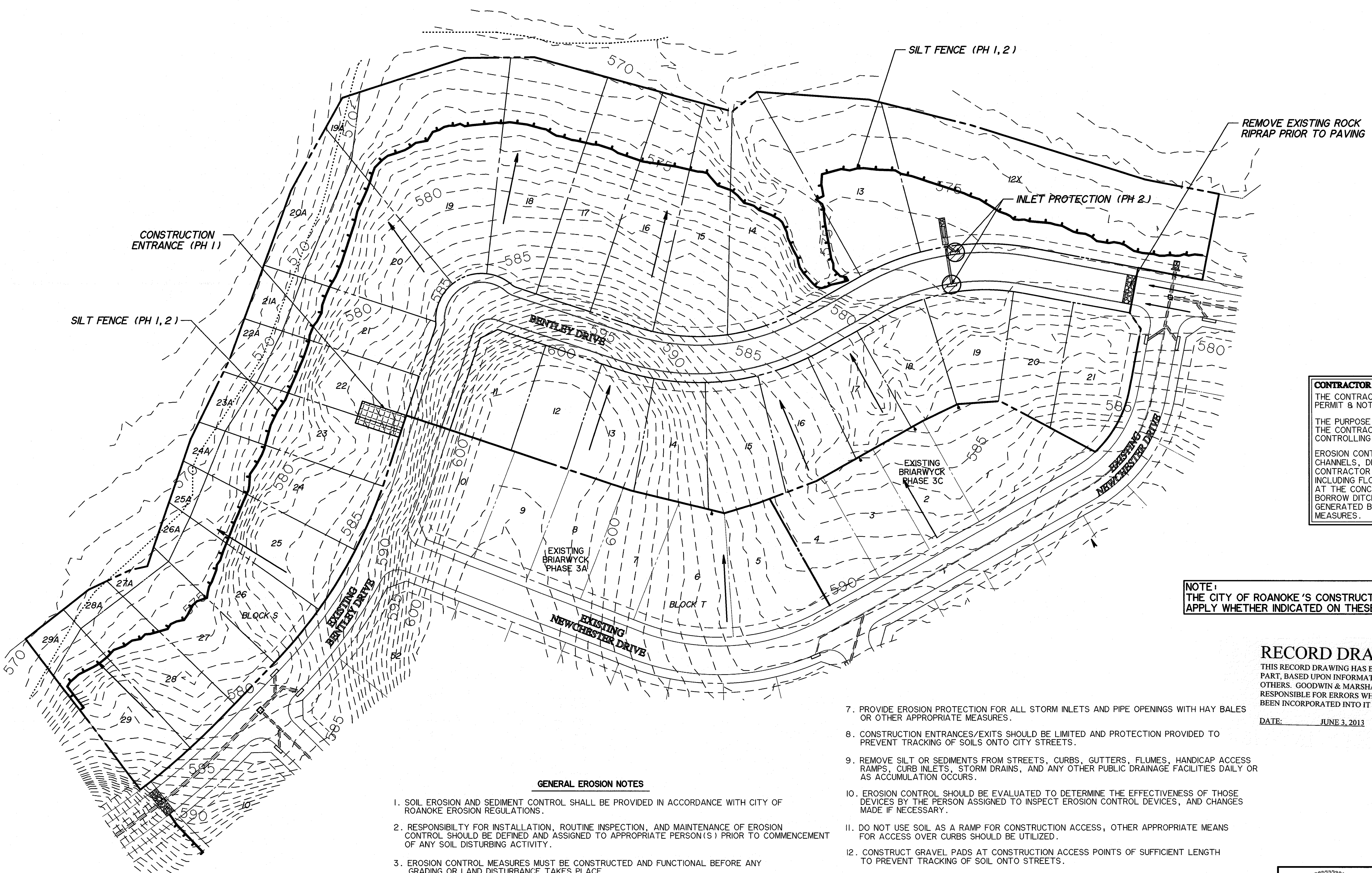
PROFILE SCALE
 Horizontal Scale: 1" = 40'
 Vertical Scale: 1" = 4'



BRIARWYCK ADDITION
 PHASE 3D
 CITY OF ROANOKE, TEXAS
 S.D. LINE "G-1"
 S.D. LATERAL "G-1b"

GOODWIN & MARSHALL
 CIVIL ENGINEERS-PLANNERS-SURVEYORS
 Job No.: 10323 Design: JSW
 Date: OCTOBER 2012 Draft: LJW
 Scale: 1"=40'H, 1"=4'V Review:
 SHEET: 8 of 21





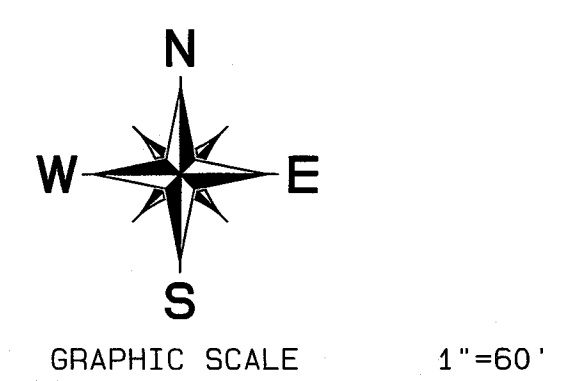
LEGEND

- SILT FENCE
- INLET PROTECTION
- STORM DRAIN INLET
- CONSTRUCTION ENTRANCE
- ROCK RIP-RAP/ROCK FILTER BERM

CONTRACTOR NOTE:
 THE EROSION CONTROL LAYOUT AS SHOWN IS FOR SCHEMATIC PURPOSES ONLY. THE DEVELOPER HAS CONTRACTED WITH AN EROSION CONTROL SPECIALIST FOR THE DESIGN AND IMPLEMENTATION OF THE FINAL EROSION CONTROL PLAN. GOODWIN & MARSHALL, INC. SHALL BE HELD HARMLESS FOR THE FINAL DESIGN, LOCATION AND INSTALLATION OF ALL EROSION CONTROL DEVICES ASSOCIATED WITH THIS PROJECT AND THE FINAL STORM WATER POLLUTION PREVENTION PLAN.

CONTRACTOR NOTE:
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITS, INCLUDING THE TCEQ PERMIT & NOTIFICATION.
 THE PURPOSE OF THIS SHEET IS TO SHOW GENERAL EROSION CONTROL CONCEPTS. THE CONTRACTOR MAY MODIFY THIS PLAN AS REQUIRED TO ACHIEVE THE INTENT OF CONTROLLING SEDIMENT.
 EROSION CONTROL MEASURES MAY ONLY BE PLACED IN FRONT OF INLETS, OR IN CHANNELS, DRAINAGEWAYS OR BORROW DITCHES AT RISK OF CONTRACTOR. CONTRACTOR SHALL REMAIN LIABLE FOR ANY DAMAGE CAUSED BY THE MEASURES, INCLUDING FLOODING DAMAGE WHICH MAY OCCUR DUE TO BLOCKED DRAINAGE. AT THE CONCLUSION OF ANY PROJECT, ALL CHANNELS, DRAINAGEWAYS AND BORROW DITCHES IN THE WORK ZONE SHALL BE DREDGED OF ANY SEDIMENT GENERATED BY THE PROJECT OR DEPOSITED AS A RESULT OF EROSION CONTROL MEASURES.

NOTE:
 THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT



RECORD DRAWING

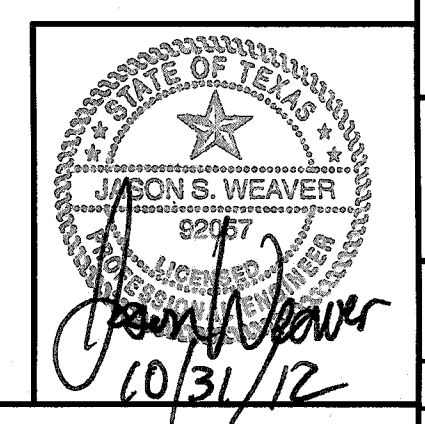
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DATE: JUNE 3, 2013

BENCH MARK ELEVATION: 642.27
 THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

- GENERAL EROSION NOTES**
1. SOIL EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH CITY OF ROANOKE EROSION REGULATIONS.
 2. RESPONSIBILITY FOR INSTALLATION, ROUTINE INSPECTION, AND MAINTENANCE OF EROSION CONTROL SHOULD BE DEFINED AND ASSIGNED TO APPROPRIATE PERSON(S) PRIOR TO COMMENCEMENT OF ANY SOIL DISTURBING ACTIVITY.
 3. EROSION CONTROL MEASURES MUST BE CONSTRUCTED AND FUNCTIONAL BEFORE ANY GRADING OR LAND DISTURBANCE TAKES PLACE.
 4. TEMPORARY OR PERMANENT SOIL STABILIZATION MUST BE APPLIED TO ALL DENUDED AREAS WHEN FINAL GRADE IS REACHED ON ANY PORTION OF SITE. TEMPORARY SOIL STABILIZATION MUST BE APPLIED TO DISTURBED AREAS LEFT DORMANT FOR EXCESSIVE PERIOD.
 5. IN THE EVENT THAT MEASURES BEING USED ARE DEEMED TO BE INEFFECTIVE BY CITY INSPECTORS, ADDITIONAL MEASURES OR CHANGES IN THE ORIGINAL PLAN MAY BE REQUIRED BY THE CITY OF ROANOKE.
 6. ALL EROSION CONTROL DEVICES SHALL BE INSPECTED BY THE SITE FOREMAN DAILY. ANY STRUCTURE OR CONTROL DEVICE WHICH IS DAMAGED OR INOPERATIVE WILL BE REPAIRED OR REPLACED IMMEDIATELY.

7. PROVIDE EROSION PROTECTION FOR ALL STORM INLETS AND PIPE OPENINGS WITH HAY BALES OR OTHER APPROPRIATE MEASURES.
8. CONSTRUCTION ENTRANCES/EXITS SHOULD BE LIMITED AND PROTECTION PROVIDED TO PREVENT TRACKING OF SOILS ONTO CITY STREETS.
9. REMOVE SILT OR SEDIMENTS FROM STREETS, CURBS, GUTTERS, FLUMES, HANDICAP ACCESS RAMPS, CURB INLETS, STORM DRAINS, AND ANY OTHER PUBLIC DRAINAGE FACILITIES DAILY OR AS ACCUMULATION OCCURS.
10. EROSION CONTROL SHOULD BE EVALUATED TO DETERMINE THE EFFECTIVENESS OF THOSE DEVICES BY THE PERSON ASSIGNED TO INSPECT EROSION CONTROL DEVICES, AND CHANGES MADE IF NECESSARY.
11. DO NOT USE SOIL AS A RAMP FOR CONSTRUCTION ACCESS, OTHER APPROPRIATE MEANS FOR ACCESS OVER CURBS SHOULD BE UTILIZED.
12. CONSTRUCT GRAVEL PADS AT CONSTRUCTION ACCESS POINTS OF SUFFICIENT LENGTH TO PREVENT TRACKING OF SOIL ONTO STREETS.
13. RESTRICT (LIMIT THE NUMBER OF) ACCESS POINTS TO INTERIOR LOTS TO PREVENT TRACKING OF SOILS ONTO STREETS.
14. PROVIDE HAYBALES OR OTHER APPROPRIATE MEANS FOR CLOSURE OF CONSTRUCTION ACCESS WHEN RAINING, OR NOT IN USE.
15. PROVIDE EROSION CONTROL FOR ALL VACANT LOTS WHERE EROSION IS CAUSING SILT TO BE DEPOSITED ONTO PUBLIC PROPERTY OR R.O.W.
16. SILT FENCES SHOULD BE INSTALLED IMMEDIATELY BEHIND CURB TO MAXIMIZE EFFECTIVENESS.
17. INLET PROTECTION SHOULD BE INSTALLED IMMEDIATELY AFTER CONST. TO LIMIT IMPACT.



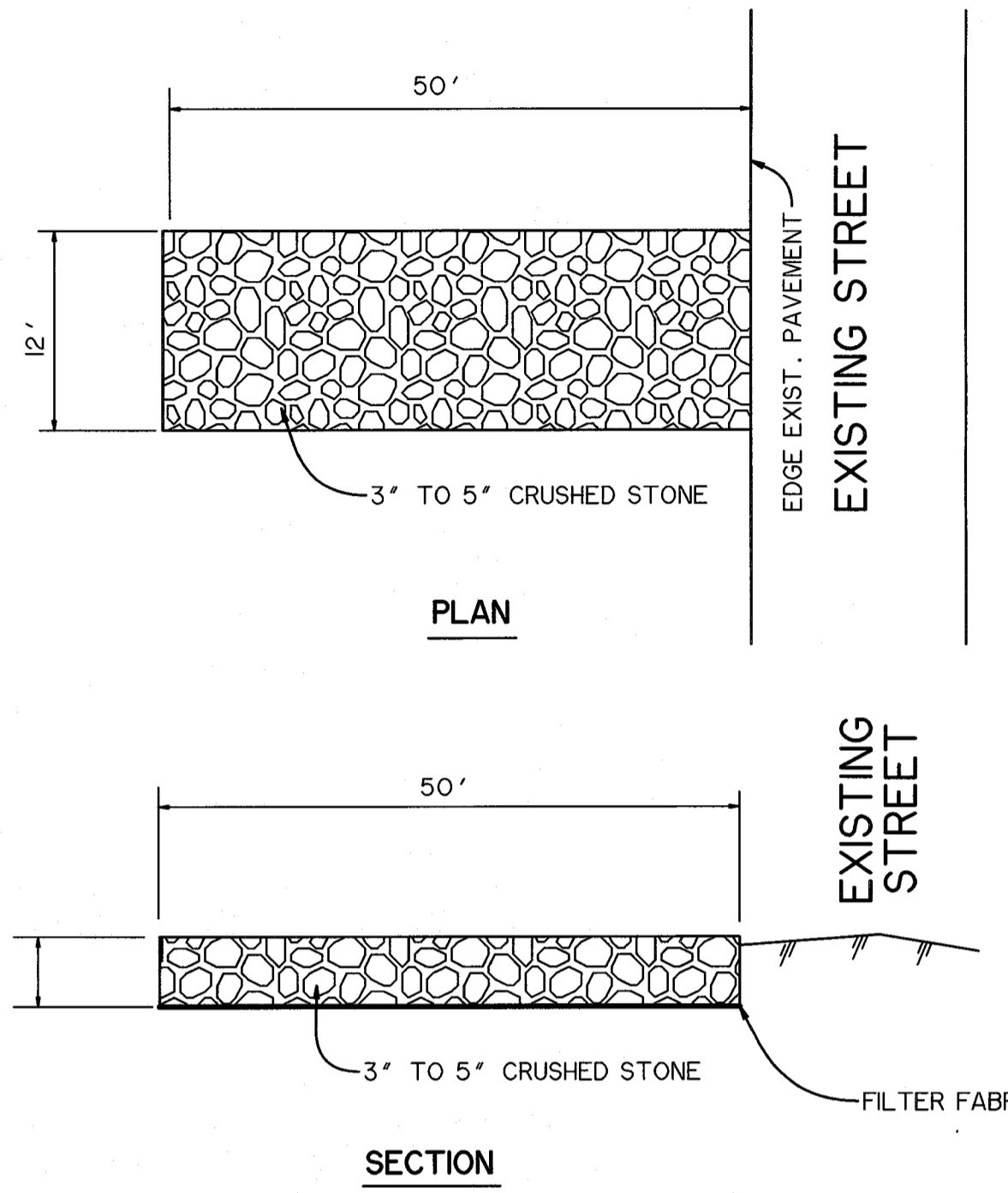
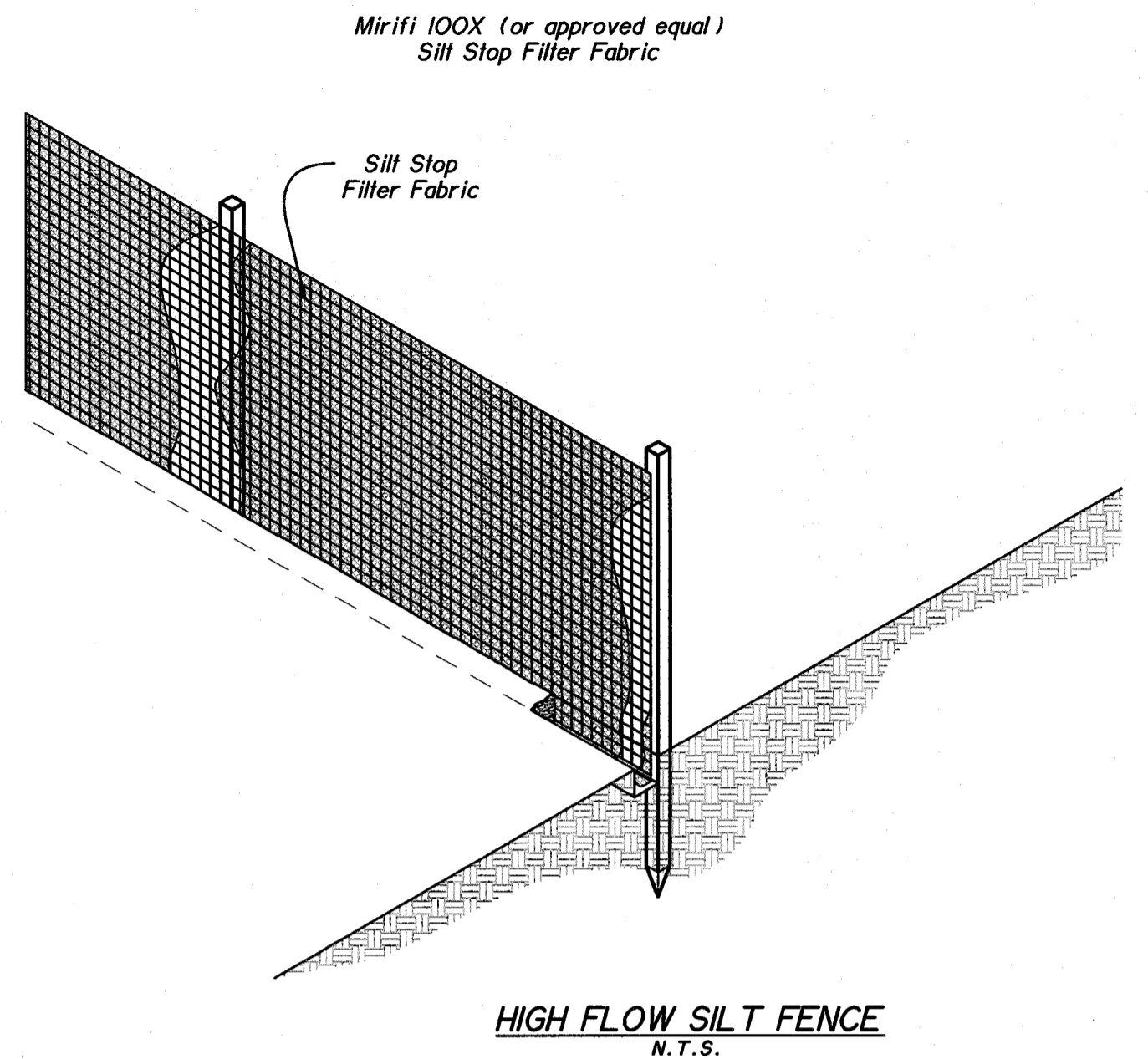
CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

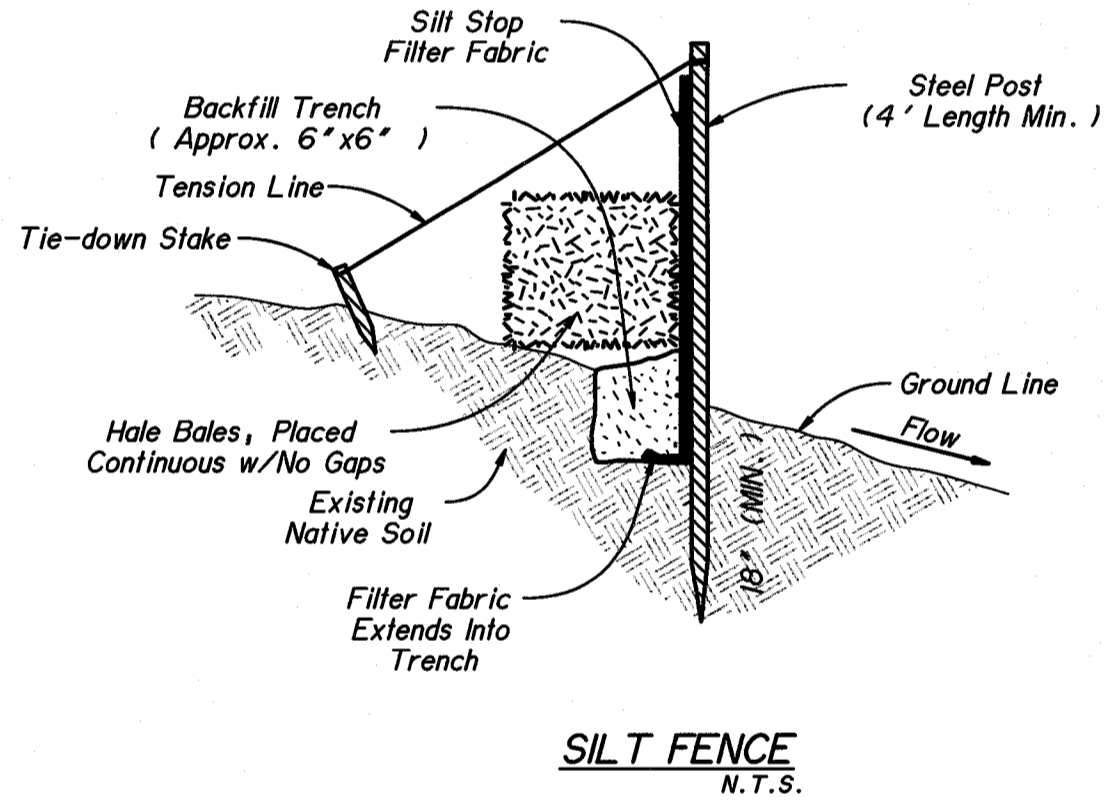
EROSION CONTROL PLAN

GOODWIN & MARSHALL
 CIVIL ENGINEERS-PLANNERS-SURVEYORS

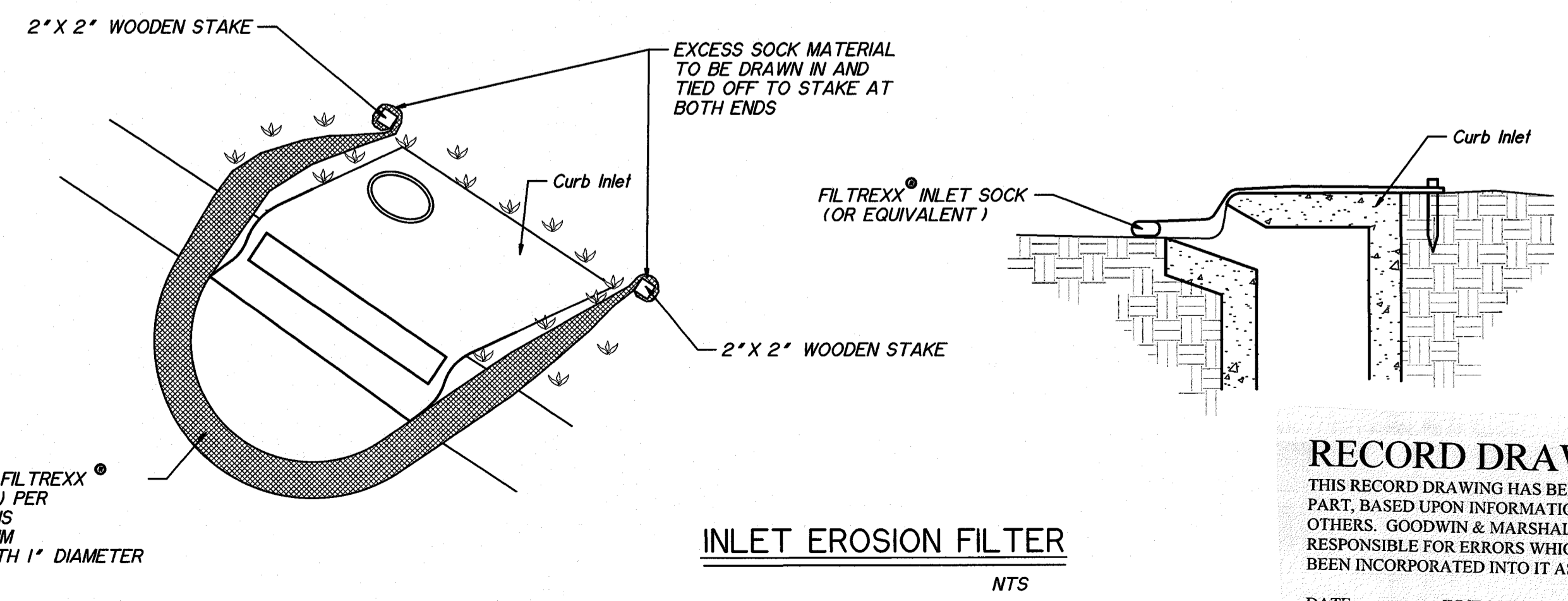
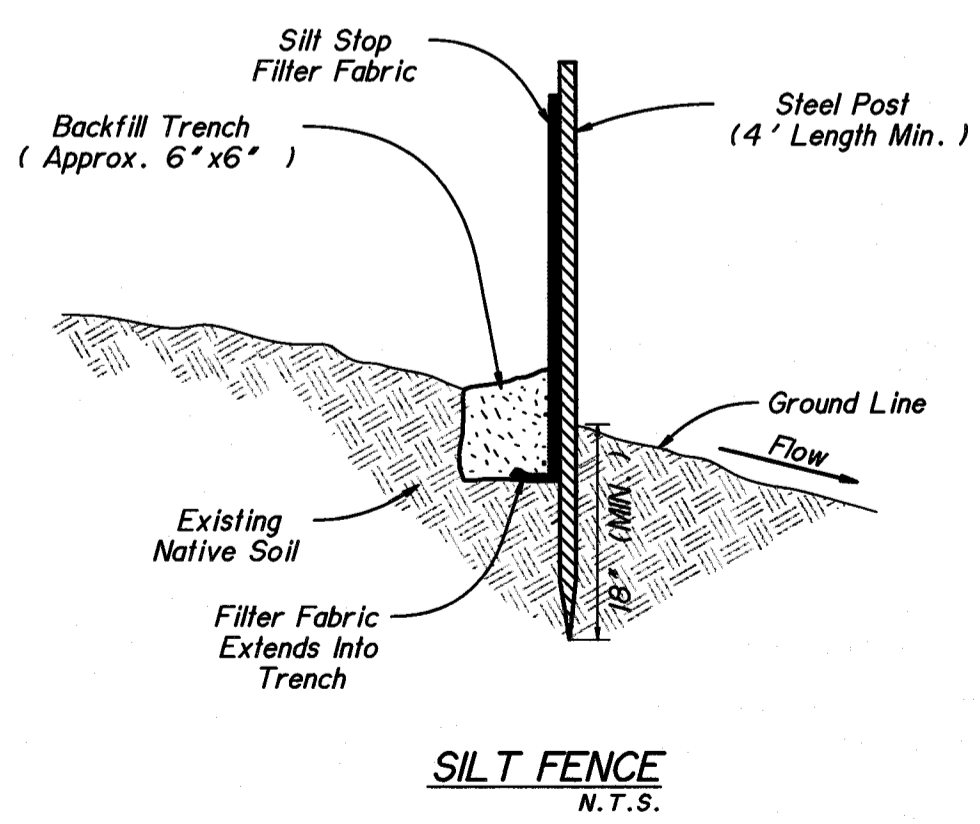
Job No.: 10323 Design: JSW
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 Scale: AS SHOWN Review:
SHEET: 9 of 21



- STABILIZED CONSTRUCTION ENTRANCE
- GENERAL NOTES:
1. STONE SHALL BE 3 TO 5 INCH DIAMETER CRUSHED ROCK OR ACCEPTABLE CRUSHED PORTLAND CEMENT CONCRETE ON FILTER FABRIC.
 2. LENGTH SHALL BE SHOWN ON PLANS, WITH A MINIMUM LENGTH OF 30 FEET FOR LOTS WHICH ARE LESS THAN 150 FEET FROM EDGE OF PAVEMENT. THE MINIMUM DEPTH IN ALL OTHER CASES SHALL BE 50 FEET.
 3. THE THICKNESS SHALL NOT BE LESS THAN 6 INCHES.
 4. THE WIDTH SHALL BE NO LESS THAN THE FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
 5. WHEN NECESSARY, VEHICLES SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO A PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WITH DRAINAGE FLOWING AWAY FROM BOTH THE STREET AND THE STABILIZED ENTRANCE. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
 6. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PAVED SURFACES. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PAVED SURFACES, MUST BE REMOVED IMMEDIATELY.
 7. THE ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.



- SILT FENCE**
- GENERAL NOTES
1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF 18".
 2. THE TOE OF THE FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWNSLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
 3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
 4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IS IN TURN ATTACHED TO THE STEEL OR WOOD FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
 5. INSPECTION SHALL BE MADE WEEKLY AND AFTER EACH RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
 6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
 7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.



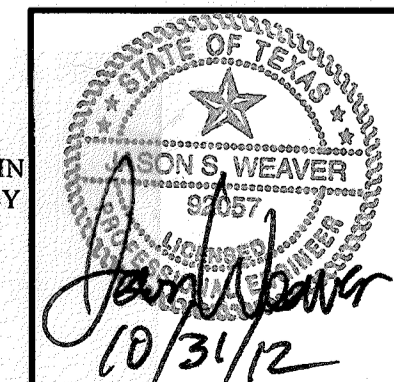
CONTRACTOR SHALL INSTALL FIL-TREX® INLET SOCK (OR EQUIVALENT) PER MANUFACTURER SPECIFICATIONS. FILTER SOCK SHALL BE MINIMUM 6" DIAMETER - FILL SOCK WITH 1" DIAMETER ROCK/GRAVEL MIX

NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT

BENCH MARK ELEVATION: 642.27
THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS
EROSION CONTROL DETAILS



RECORD DRAWING
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DATE: JUNE 3, 2013

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2800 MURPHY ROAD, SUITE 1000, FORT WORTH, TEXAS 76104
P.E. REGISTRATION # F-23444

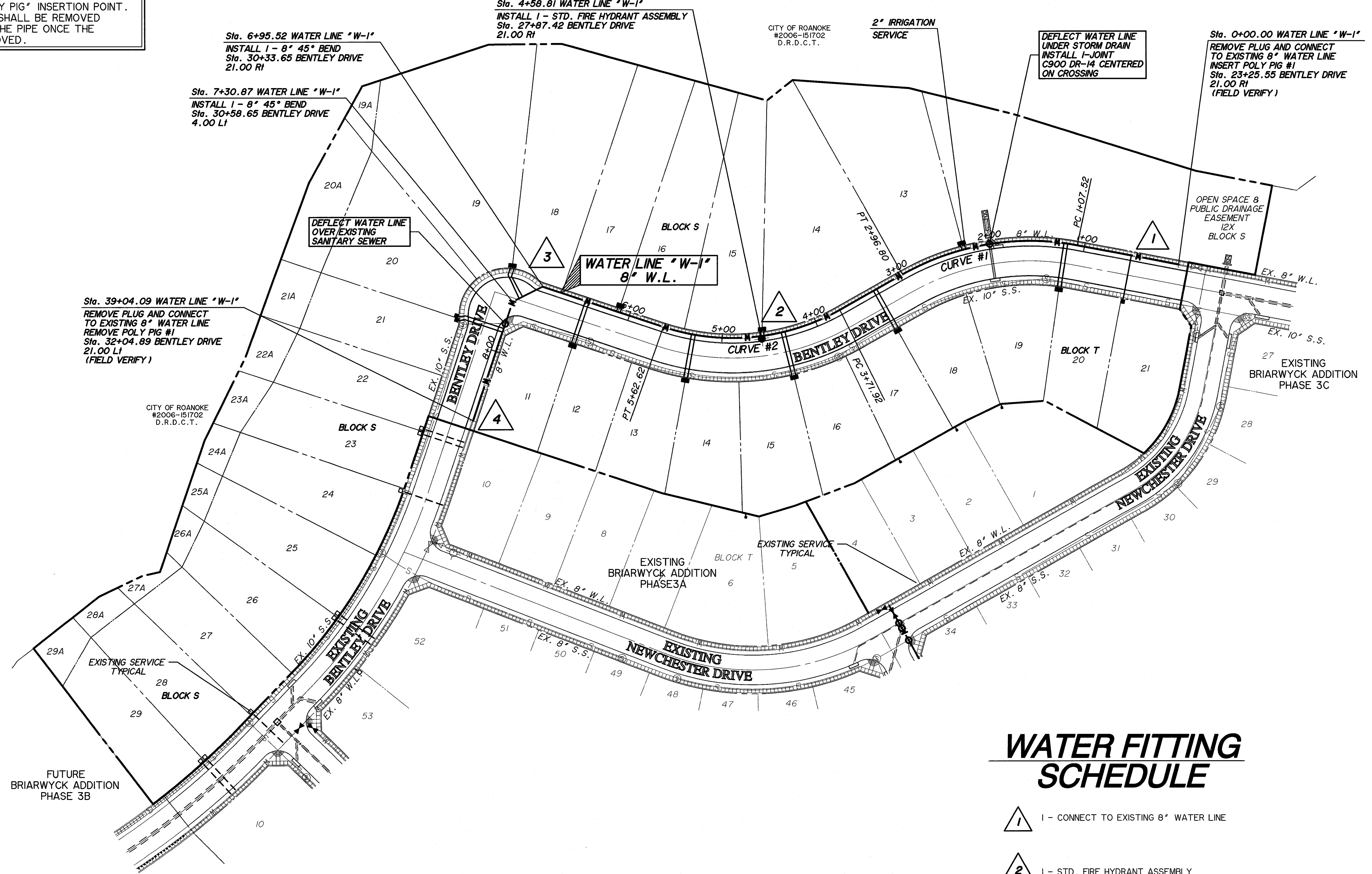
Job No.: 10323 Design: JSW
Date: OCTOBER 2012 Draft: BRM
Scale: AS SHOWN Review:
SHEET 10 of 21

NOTE:

- FOR WATER SERVICE AND TYPICAL LOT SERVICE CONNECTION DETAILS, SEE SHEET 12.
- CONTRACTOR TO DEFLECT WATER LINE BENEATH PROPOSED STORM DRAIN SYSTEMS WHERE STORM DRAIN AND WATER LINE CONFLICT, MAINTAINING A MINIMUM OF 2' CLEARANCE.
- STANDARD FIRE HYDRANT ASSEMBLY INCLUDES STANDARD 6" F.H. GATE VALVE AND 8" x 6" TEE.
- CONTRACTOR SHALL INSTALL A CLEANING WYE AT EACH "POLY PIG" INSERTION POINT. THE CLEANING WYE SHALL BE REMOVED OR ROLLED UNDER THE PIPE ONCE THE "POLY PIG" IS REMOVED.

WATER LINE - CURVE DATA				
CURVE	DELTA	TANGENT	RADIUS	LENGTH
CURVE #1	40°01'06"	98.68'	271.00'	189.28'
CURVE #2	47°42'53"	101.27'	229.00'	190.71'

UTILITY LEGEND	
	PROPOSED WATER LINE AND GATE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED SINGLE WATER SERVICE
	EXISTING SINGLE WATER SERVICE
	EXISTING WATER LINE AND GATE VALVE
	EXISTING FIRE HYDRANT
	FUTURE WATER LINE
	PROPOSED SANITARY SEWER LINE
	PROPOSED SANITARY SEWER MANHOLE
	EXISTING OVERHEAD TRANSMISSION LINE



CONTRACTOR NOTE

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UTILITY COMPANY CONTACTS

1-800-DIG-TESS

AT&T
1-800-246-8464

VERIZON
(800) 624-9675

TXU ELECTRIC DELIVERY
1-888-222-8045

ATMOS GAS COMPANY
1-800-692-4694

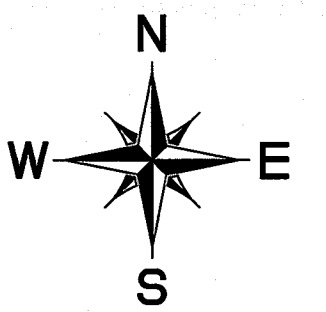
CHARTER COMMUNICATIONS
1-800-314-7195

ROANOKE DEPT. OF PUBLIC WORKS
1-817-491-6099

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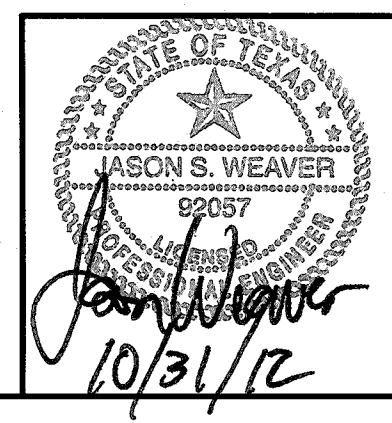
BENCH MARK ELEVATION: 642.27

THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

WATER FITTING SCHEDULE

- 1 - CONNECT TO EXISTING 8" WATER LINE
- 2 - STD. FIRE HYDRANT ASSEMBLY
- 3 - 2 - 8" 45° BEND
- 4 - 1 - CONNECT TO EXISTING 8" WATER LINE

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CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION PHASE 3D
CITY OF ROANOKE, TEXAS

WATER LAYOUT

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS

Job No.: 10323 Design: JSW
Date: OCTOBER 2012 Draft: BRM
Scale: AS SHOWN Review:

SHEET: 11 of 21

NOTE: SHEET PROVIDED FOR INFORMATIONAL PURPOSES ONLY
ALL SANITARY SEWER FACILITIES SHOWN ARE EXISTING

UTILITY LEGEND	
—S—	EXISTING SINGLE SEWER SERVICE
—S—	EXISTING SEWER LINE AND MANHOLE
—S—	FUTURE SEWER LINE
—W—	PROPOSED WATER LINE AND GATE VALVE
—W—	PROPOSED FIRE HYDRANT
—E—	EXISTING OVERHEAD TRANSMISSION LINE

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UTILITY COMPANY CONTACTS

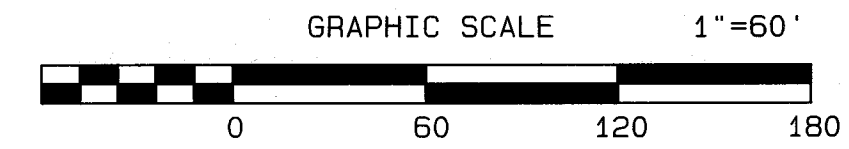
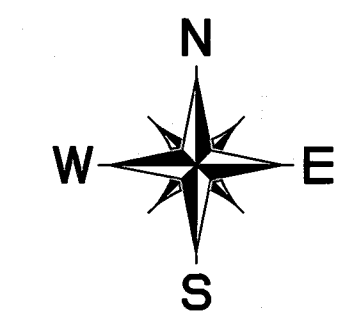
1-800-DIG-TESS	
AT&T	1-800-246-8464
VERIZON	(800) 624-9675
TXU ELECTRIC DELIVERY	1-888-222-8045
ATMOS GAS COMPANY	1-800-692-4694
CHARTER COMMUNICATIONS	1-800-314-7195
ROANOKE DEPT. OF PUBLIC WORKS	1-817-491-6039

NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT

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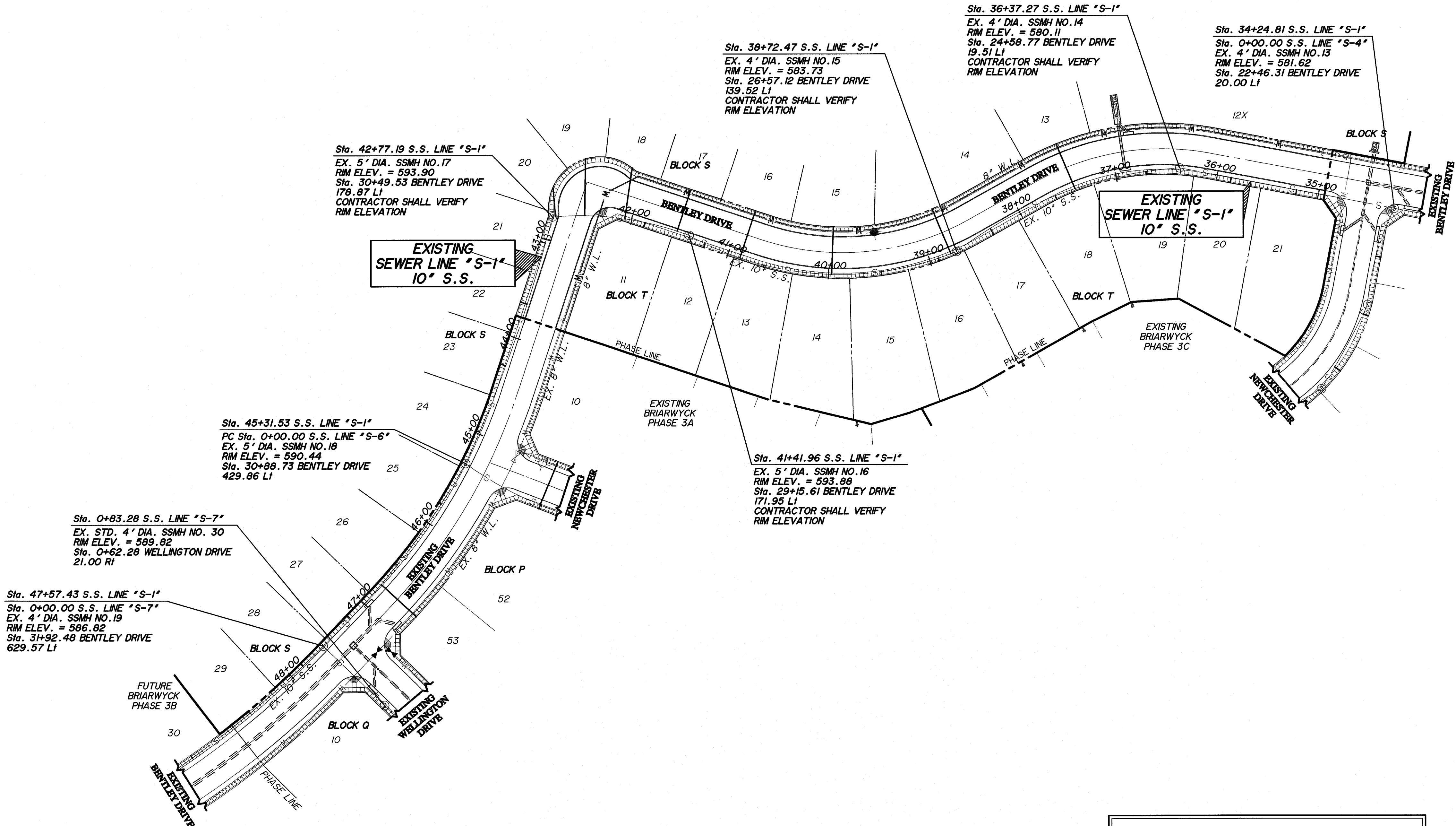
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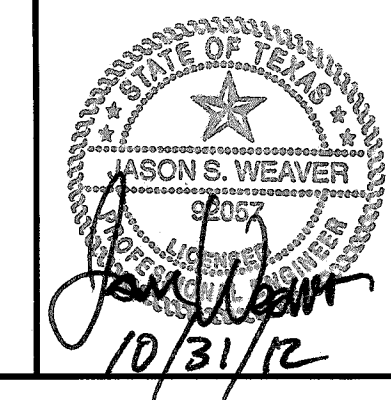
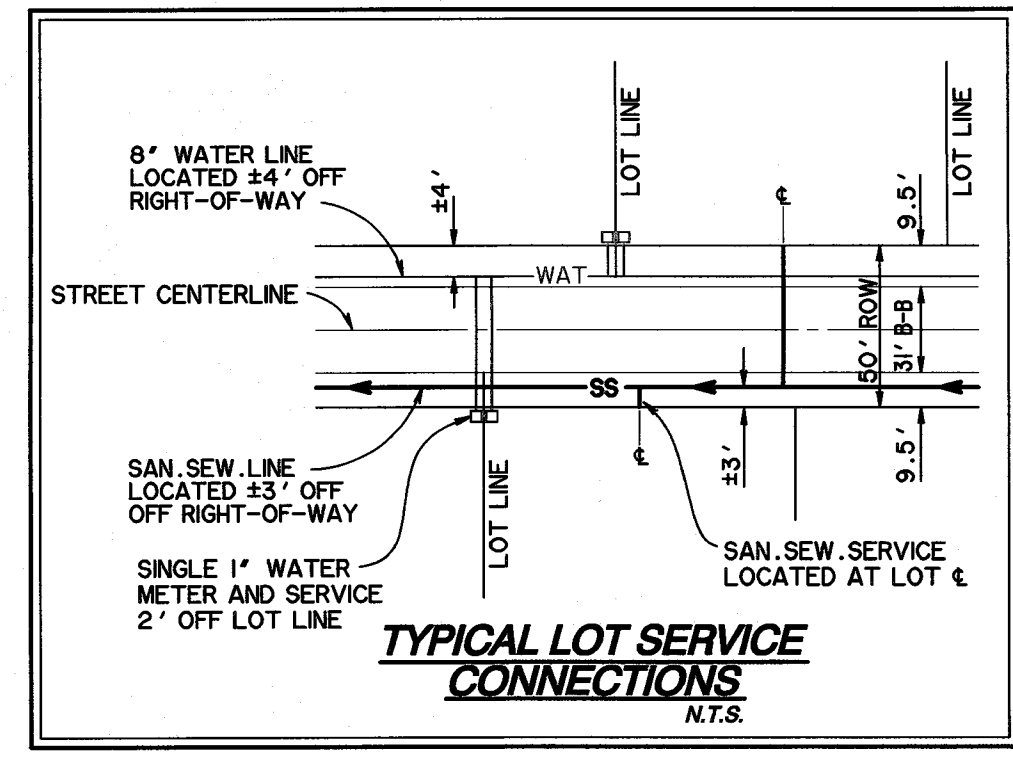


BENCH MARK ELEVATION: 642.27

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Existing Sewer Service Information					
Lot #	Block #	Sewer Line	Sewer Station	Lot #	Sewer Station
13	S	S-1	37+41.45	26	S-1 46+50.71
14	S	S-1	38+78.43	27	S-1 47+19.87
15	S	S-1	39+96.97	28	S-1 47+85.00
16	S	S-1	40+87.90	29	S-1 48+54.40
17	S	S-1	41+54.31		
18	S	S-1	42+06.67	15	T S-1 39+48.69
19	S	S-1	42+45.85	16	T S-1 38+91.53
20	S	S-1	42+74.35	17	T S-1 38+32.72
21	S	S-1	43+03.60	18	T S-1 37+62.12
22	S	S-1	43+65.62	19	T S-1 36+70.44
23	S	S-1	44+28.65	20	T S-1 35+86.24
24	S	S-1	44+98.07	21	T S-1 35+21.55
25	S	S-1	45+78.01		



CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

**BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS**

**EXISTING
SEWER LAYOUT**

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS

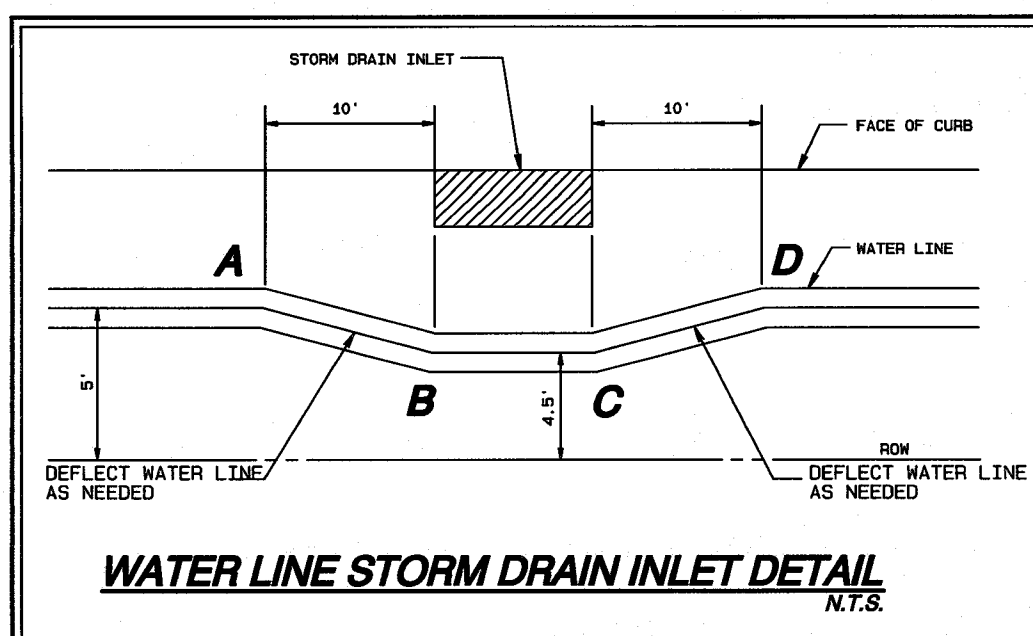
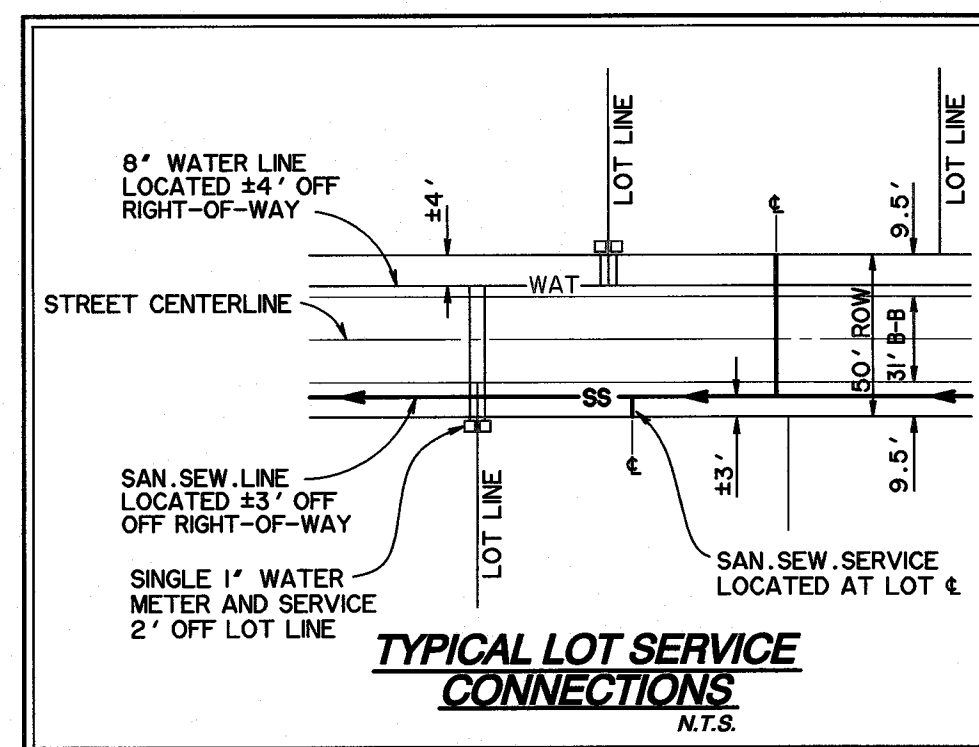
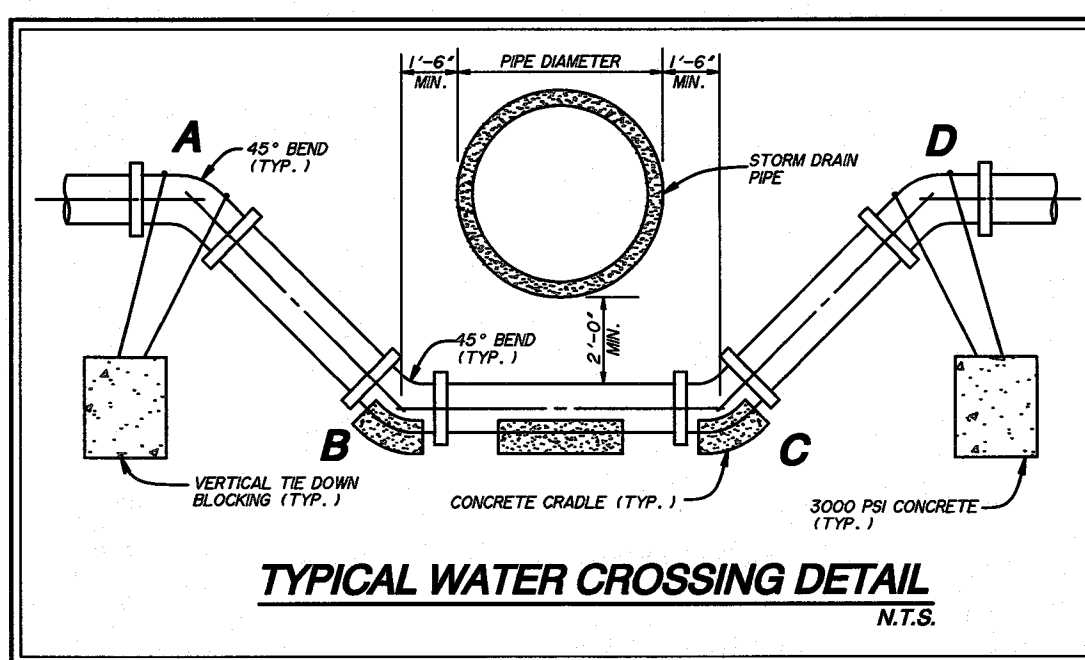
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Date: OCTOBER 2012 Draft: BRM
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2405 HURSTING DRIVE, GARLAND, TEXAS 75042
PHONE: 972-261-1111 FAX: 972-261-1112
TBE Registration # F-2044

SHEET: 12 OF 21

WATER GENERAL NOTES

1. APPLICABLE DESIGN AND DETAILS SHALL CONFORM TO THE CITY OF ROANOKE CONSTRUCTION SPECIFICATIONS.
2. EXISTING UTILITY DATA IS APPROVED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATELY AS POSSIBLE, THE CONTRACTOR IS CAUTIONED THAT THE DEVELOPER AND THE ENGINEER NEITHER ASSUMES NOR IMPLIES ANY RESPONSIBILITY FOR THE ACCURACY OF THIS DATA.
3. THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
4. DEVELOPER'S SURVEYOR IS RESPONSIBLE FOR ALL CONSTRUCTION SURVEYING TO COMPLETE THIS PROJECT.
5. HORIZONTAL BLOCKING FOR WATER LINES HAS BEEN OMITTED FOR CLARITY. HOWEVER, BLOCKING SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY OF ROANOKE STANDARD CONSTRUCTION SPECIFICATIONS.
6. BACKFILL AND EMBEDMENT SHALL BE PER CITY OF ROANOKE SPECIFICATIONS. ALL BACKFILL MATERIAL SHALL BE COMPACTED PER GEOTECHNICAL ENGINEER RECOMMENDATIONS.
7. TOP OF WATER LINES SHALL BE A MINIMUM OF 4'-0" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
8. NORMAL LOCATION OF WATER MAINS SHALL BE IN THE ROW 4' FROM THE NORTH OR EAST PROPERTY LINE, UNLESS OTHERWISE SHOWN.
9. FIRE HYDRANTS SHALL BE A MINIMUM OF 2'-6" BEHIND THE FACE OF THE CURB UNLESS OTHERWISE DIRECTED BY THE CITY OF ROANOKE. FIRE HYDRANTS SHALL BE LOCATED AT PROPERTY / LOT LINE. FIRE HYDRANTS AND VALVES AS SHOWN ON THESE PLANS ARE SYMBOLIC ONLY.
10. CORPORATION STOPS SHALL BE TESTED FOR FULL FLOW WHEN THE SYSTEM IS PRESSURE TESTED.
11. CONTRACTOR SHALL COMPLY WITH TEXAS HOUSE BILL 1569, EFFECTIVE SEPTEMBER 1, 1989, TO MAINTAIN A VIABLE TRENCH SAFETY SYSTEM AT ALL TIMES.
12. ALL NEW WATERLINES SHALL BE FULLY PURGED. DO NOT TEST AGAINST EXISTING VALVES WHEN CONNECTING TO EXISTING MAINS.
13. ALL 6", 8", 10", AND 12" WATER MAINS SHALL BE PVC AWMA C900, DR-18. ALL WATER MAINS USING POLY-WRAPPED DUCTILE IRON PIPE SHALL BE CLASS 51. 16" AND LARGER MAINS SHALL BE STEEL, CONCRETE, OR DUCTILE IRON, CLASS 51.
14. FITTINGS SHALL BE IN ACCORDANCE WITH CITY OF ROANOKE STANDARD CONSTRUCTION SPECIFICATIONS.
15. ALL WATER MAINS SHALL BE PLUGGED WITH A CAST IRON PLUG (OR EQUAL) AT THE END OF EACH WORKDAY.
16. IF LIVESTOCK ARE PRESENT DURING CONSTRUCTION, CONTRACTOR SHALL COORDINATE WITH DEVELOPER AND OWNER REPRESENTATIVES TO PROVIDE TEMPORARY FENCING DURING CONSTRUCTION TO PROTECT LIVESTOCK FROM INJURY.
17. CONTRACTOR IS REQUIRED TO ACQUIRE ALL NECESSARY PERMITS FOR CONSTRUCTION FROM THE CITY OF ROANOKE.
18. WHEN EXISTING GRADES ARE LOWER THAN PROPOSED MAINS, THE FILL AREA OVER THE PIPE SHALL BE FILLED AND COMPACTED PER GEOTECHNICAL ENGINEER RECOMMENDATIONS TO THE PROPOSED FINISHED GRADE PRIOR TO INSTALLING ANY MAIN.
19. DEFLECT WATER MAINS AT JOINTS TO CLEAR CURB INLETS.
20. UNLESS OTHERWISE NOTED, GATE VALVES SHALL BE INSTALLED TO LINE UP WITH PROPERTY CORNERS.
21. WATER PIPE BENDING RADIUS SHALL MEET MANUFACTURERS SPECIFICATIONS.
22. ALL CONDUIT FOR IRRIGATION, PHONE, GAS, AND ELECTRIC SHALL BE INSTALLED BEFORE PAVING. THE CONDUIT SHALL BE TURNED UP 90° AT EACH END AND EXTENDED 1' ABOVE FINISHED GRADE. THE CONDUIT SHALL BE ±3' DEEP UNLESS THIS DEPTH CONFLICTS WITH OTHER UTILITIES. IF THERE IS A CONFLICT, THE CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1' VERTICAL CLEARANCE BETWEEN ALL OTHER UTILITIES.
23. WATER TESTING IS REQUIRED (HYDROSTATIC AND BACTERIA).
24. AMERICAN MADE VALVE BOXES ARE REQUIRED. TYLER BRAND IS AN APPROVED EQUAL.
25. ALL BACKFILL MUST MEET GEOTECHNICAL ENGINEER RECOMMENDATION FOR COMPACTION AND OPTIMUM MOISTURE CONTENT.
26. THE NORMAL LOCATION OF WATER SERVICE LINES SHALL BE IN THE PARKWAY IN FRONT OF THE PROPERTY AND 2 FEET TO EITHER SIDE OF THE COMMON PROPERTY LINE.
27. UNLESS OTHERWISE NOTED, WATER METER BOXES SHALL BE LOCATED AT A POINT 3 FEET BEHIND THE FACE OF THE ADJACENT OR PROPOSED FACE OF CURB.
28. 21 - 1" COPPER DOMESTIC WATER SERVICES & 1 - 2" IRRIGATION METER ARE TO BE INSTALLED IN THIS CONTRACT.



CONTRACTOR NOTE

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RECORD DRAWING

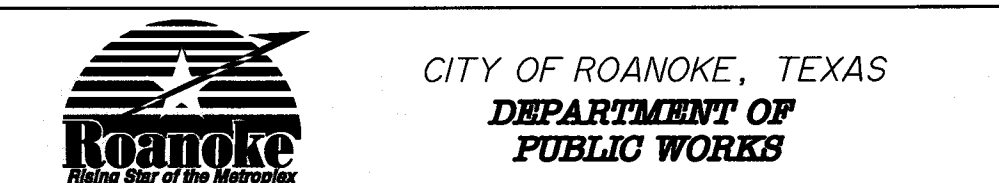
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DATE: JUNE 3, 2013

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**BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS**

**WATER
GENERAL NOTES & DETAILS**

Job No. : 10323 Design: JSW
Date : OCTOBER 2012 Draft: BRM
Scale : AS SHOWN Review:
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2405 MUSTANG DRIVE, GARLAND, TEXAS 75041
TIFB Registration # 12294
GOODWIN & MARSHALL
10/31/12
SHEET: 13 of 21

GENERAL NOTES

1. Foundations in parkways shall be no less than three feet from the water line or edge of pavement.
2. Install PVC Schedule 40 conduit underground (24" below grade) and Schedule 80 PVC above grade and for all bores crossing under streets and driveways. All conduit running parallel to edge of pavement shall be Schedule 80 PVC 3/2" below edge of pavement or proposed ground.
3. All luminaires shall have M-C-II light distribution with flat glass lens in standard cobrahead style fixture with photoelectric receptacle, and 100W HPS lamp and ballast.
4. Connection to power company circuits to be made only by power company personnel.
5. Splices in pull boxes are not allowed.
6. Unless otherwise indicated all work shall conform to the 1998 National Electrical Code (NFPA 70) and the 1998 National Electrical Safety Code (ANSI C2).
7. All new street light poles to be specified by others.
8. Wire & conduit to be 3 #4 AWG, #8G, 2" conduit unless noted otherwise.
9. Refer to City of Roanoke Specifications for street lighting details.

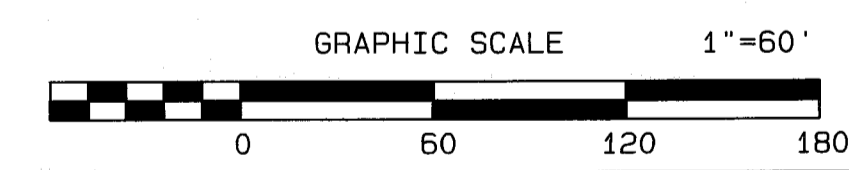
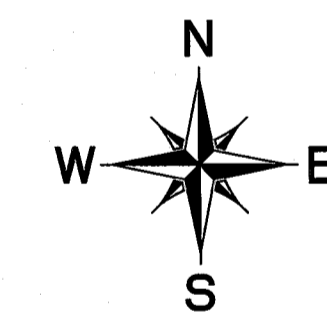
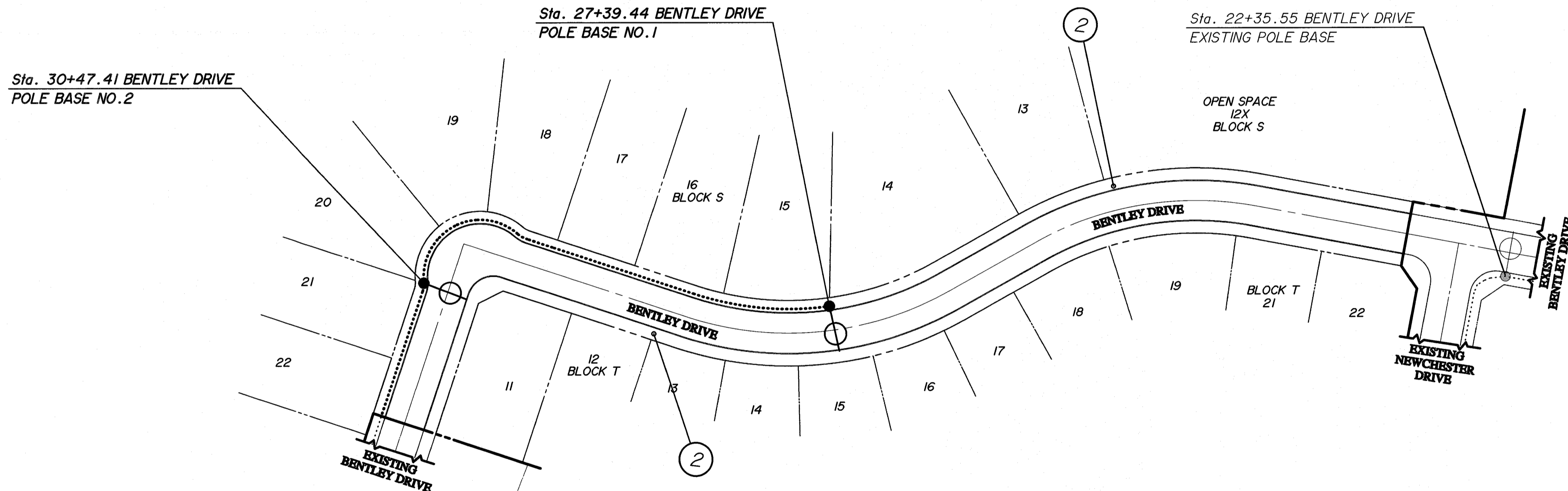
LEGEND

	PROPOSED	EXISTING
PVC Conduit
Pole Assembly		
100w HPS		

NOTE:
STREET LIGHT LAYOUT AS SHOWN IS FOR SCHEMATIC PURPOSES ONLY. DEVELOPER WILL CONTRACT WITH AN ELECTRIC FRANCHISE UTILITY SUPPLIER TO DESIGN AND INSTALL ALL STREET LIGHTS BASES, CONDUITS, TRANSFORMER LOCATIONS AND / OR ANY OTHER NECESSARY MATERIALS ASSOCIATED WITH THE CITY OF ROANOKE STANDARD STREET LIGHTING. GOODWIN & MARSHALL, INC. SHALL BE HELD HARMLESS FOR THE FINAL DESIGN, LOCATION AND INSTALLATION OF ALL CITY STREET LIGHTS ASSOCIATED WITH THIS PROJECT.

UTILITY COMPANY CONTACTS

1-800-DIG-TESS
 AT&T
 1-800-246-8464
 VERIZON
 (800) 624-9675
 TXU ELECTRIC DELIVERY
 1-888-222-8045
 ATMOS GAS COMPANY
 1-800-692-4694
 CHARTER COMMUNICATIONS
 1-800-314-7195
 ROANOKE DEPT. OF PUBLIC WORKS
 1-817-491-6099



BENCH MARK ELEVATION: 642.27
 THE STATION IS LOCATED ABOUT 32 KM (19.90 MI) NORTH-NORTHEAST OF FORT WORTH IN THE NORTHWEST CORNER OF ROANOKE, AND IN THE SOUTHEAST BRIDGE ABUTMENT OF THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

STREET SIGNAGE LEGEND

EXISTING

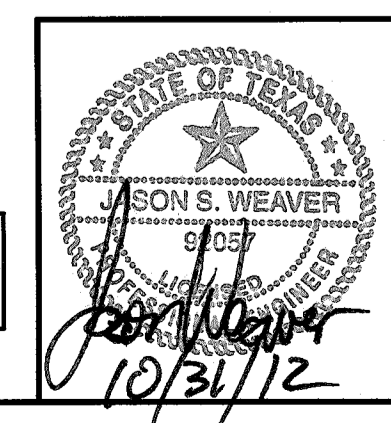
① STOP

② SPEED LIMIT 25

Notes:
 STREET SIGNS SHALL CONFORM TO TEXAS MUTCD STANDARDS AND SPECIFICATIONS.
 STREET SIGNS SHALL BE PLACED IN THE R.O.W. 2 FEET BEHIND THE BACK OF CURB.

RECORD DRAWING
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 DATE: JUNE 3, 2013

NOTE:
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Roanoke CITY OF ROANOKE, TEXAS
 DEPARTMENT OF PUBLIC WORKS

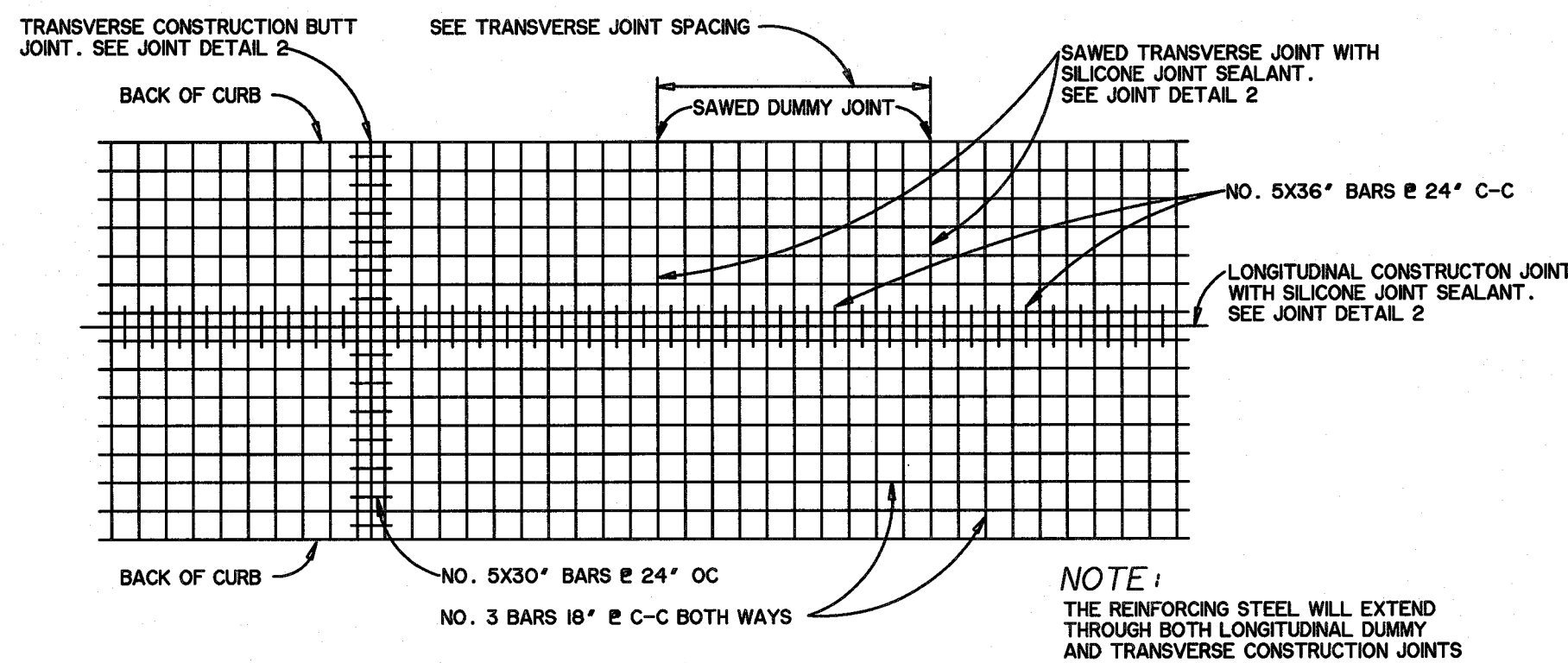
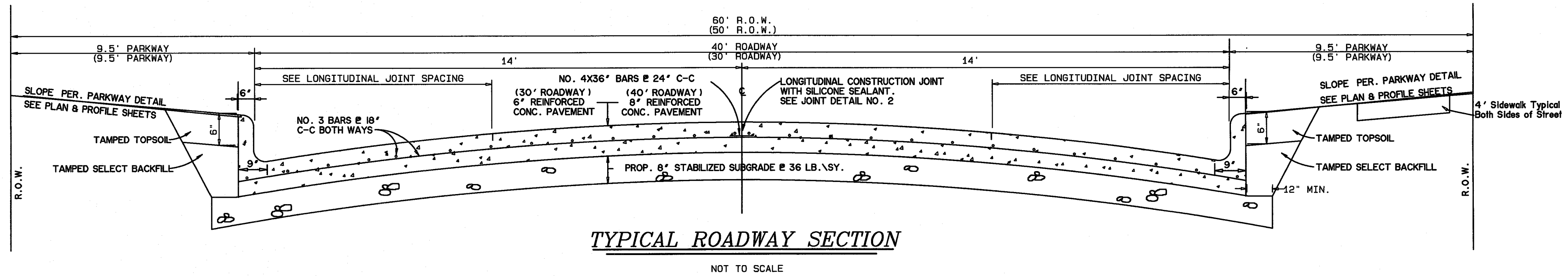
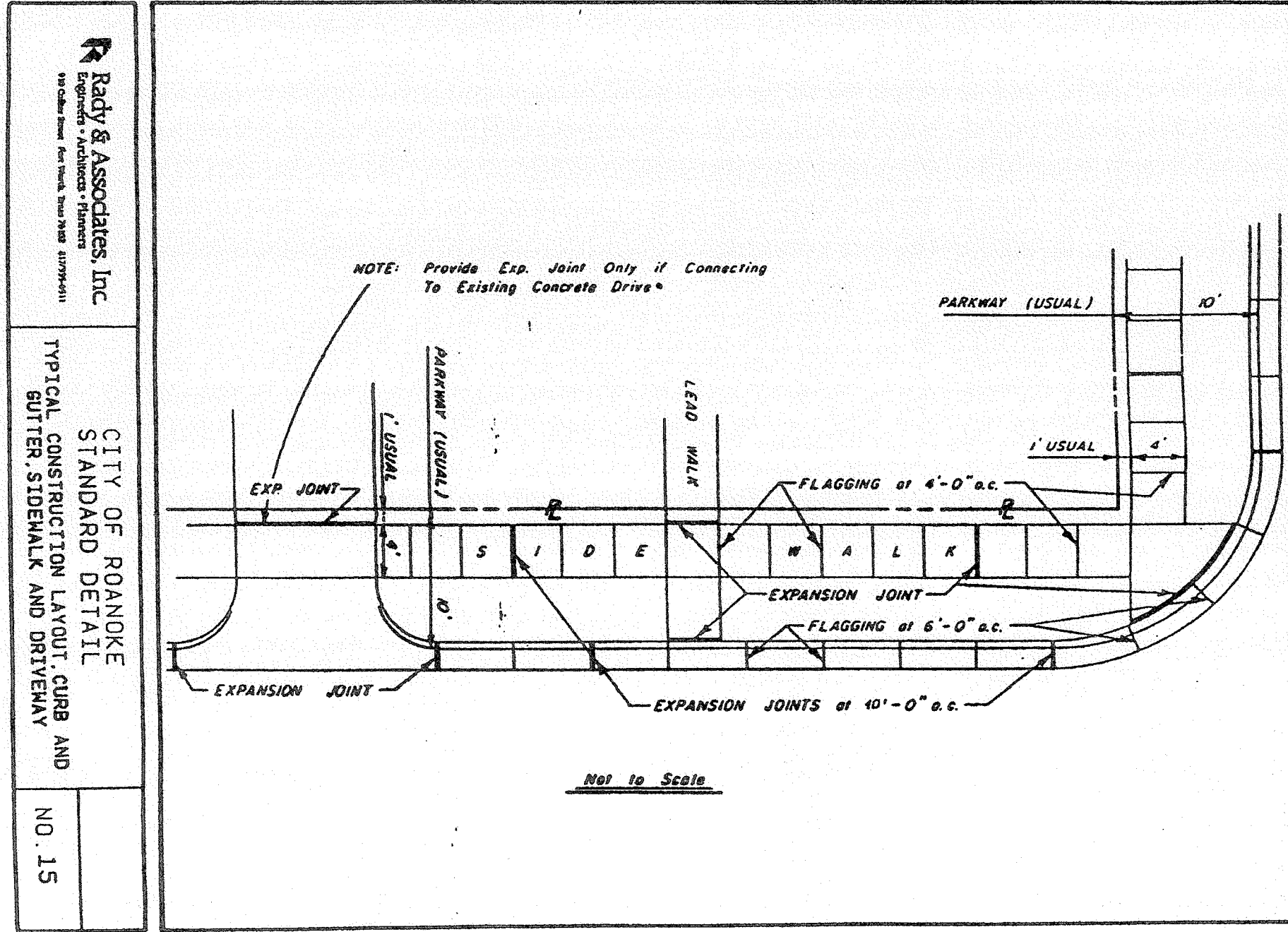
BRIARWYCK ADDITION
 PHASE 3D
 CITY OF ROANOKE, TEXAS

STREET LIGHT AND SIGNAGE PLAN

GOODWIN & MARSHALL, INC.
 CIVIL ENGINEERS-PLANNERS-SURVEYORS

Job No.: 10323 Design: JSW
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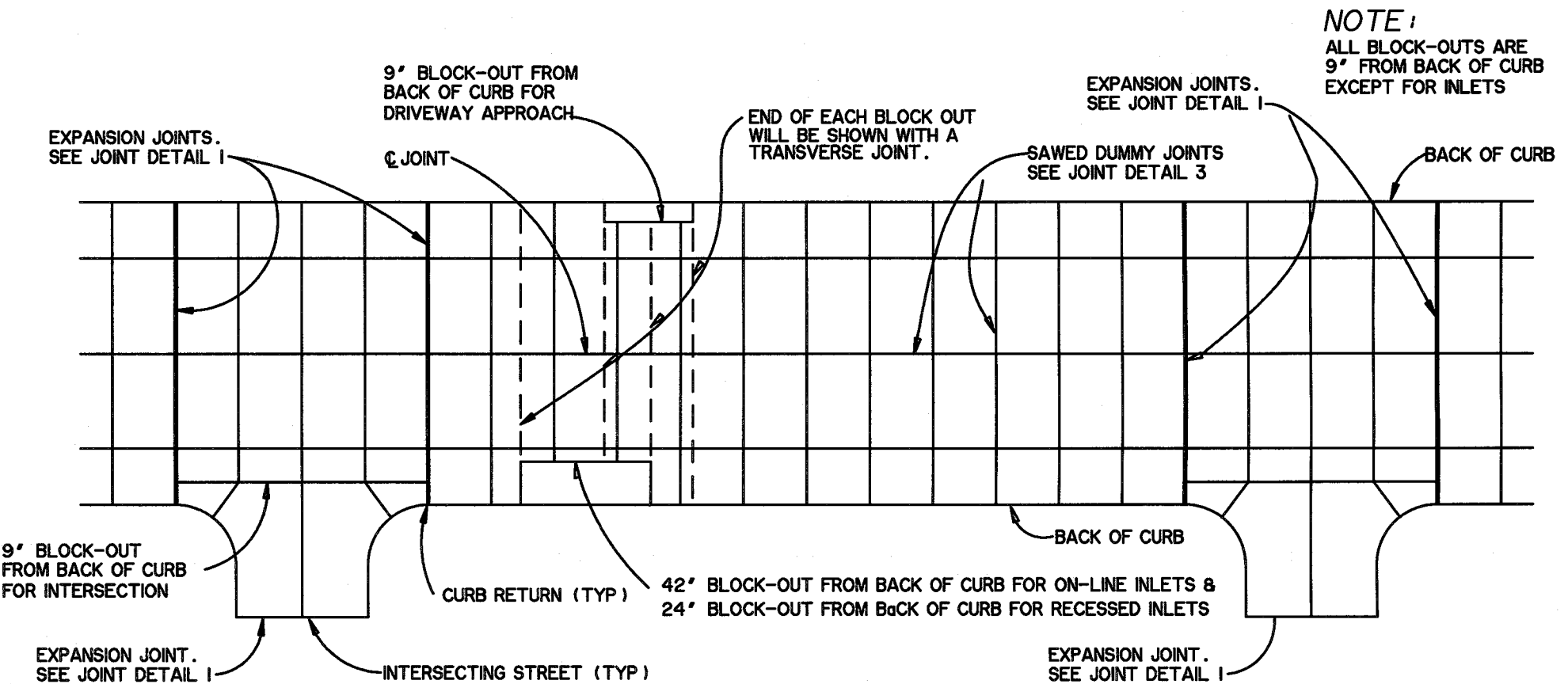
SHEET: 14 of 21



STEEL REINFORCEMENT PLACEMENT

PAVEMENT THICKNESS	CLEAR DISTANCE FROM FACE OF PAVEMENT
T = 6"	2'
T = 7"	2 1/3'
T = 8"	2 2/3'

NOTE: ALL DOWELS TO BE PLACED @ T/2

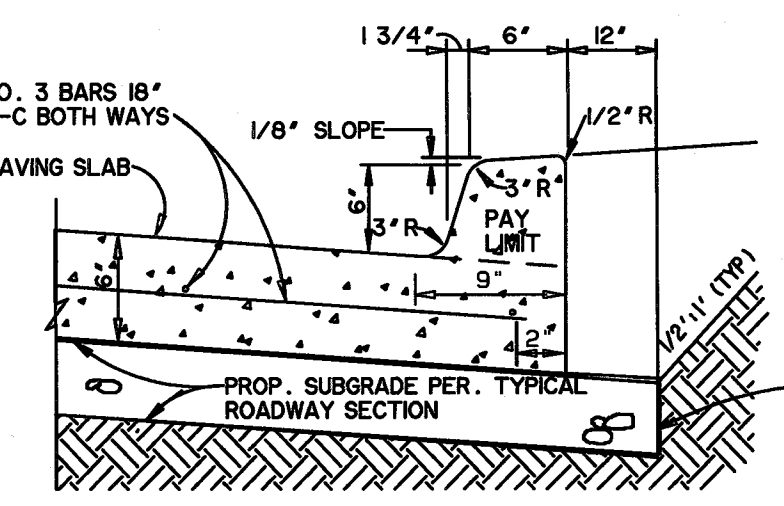


LONGITUDINAL JOINT SPACING

STREET WIDTH	SPACING
28' & 30'	ON 6'
36' & 40'	ON 6' & 8' FROM BACK OF CURB
44'	ON 6' & 14' OFF
48'	ON 6' & 12' OFF
60'	6' & 18' OFF

TRANSVERSE JOINT SPACING

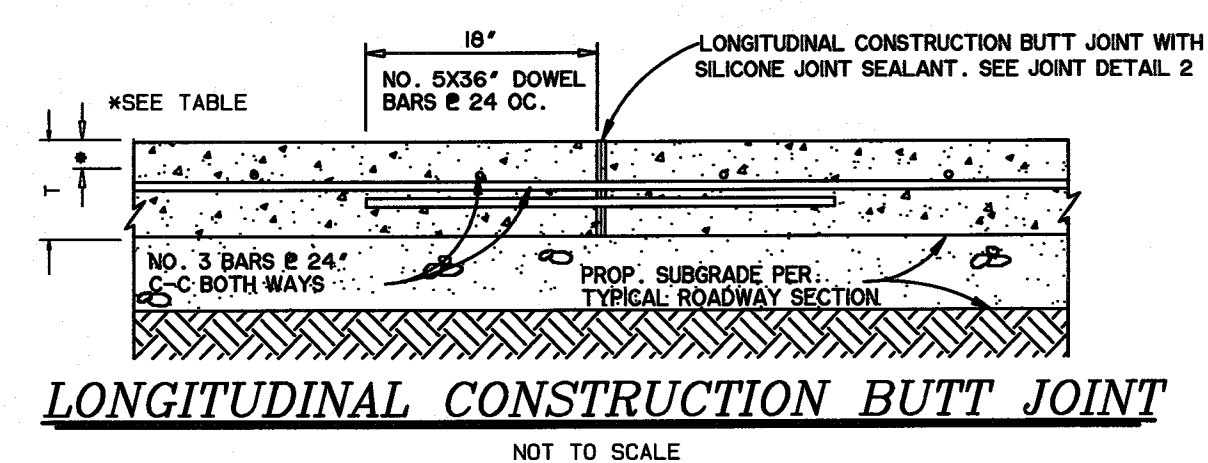
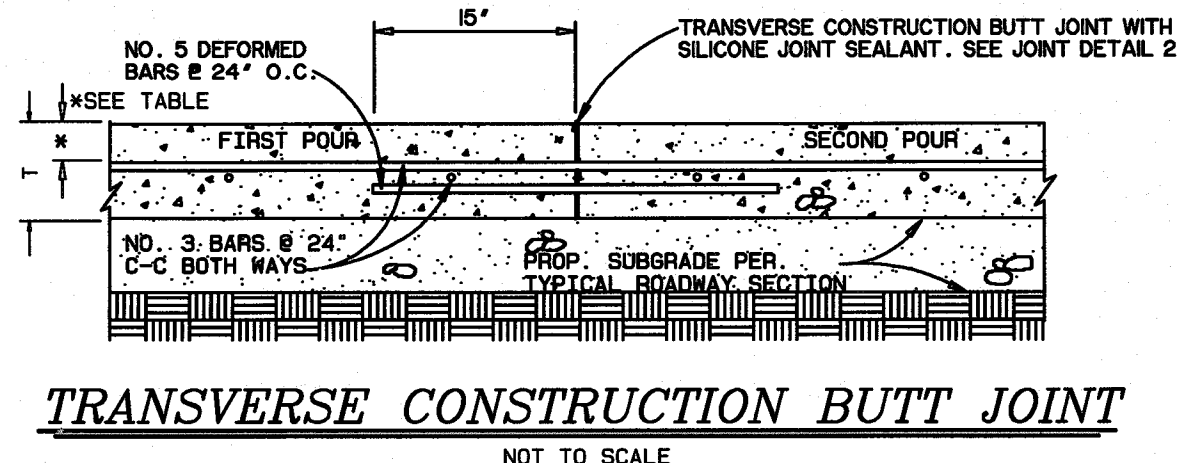
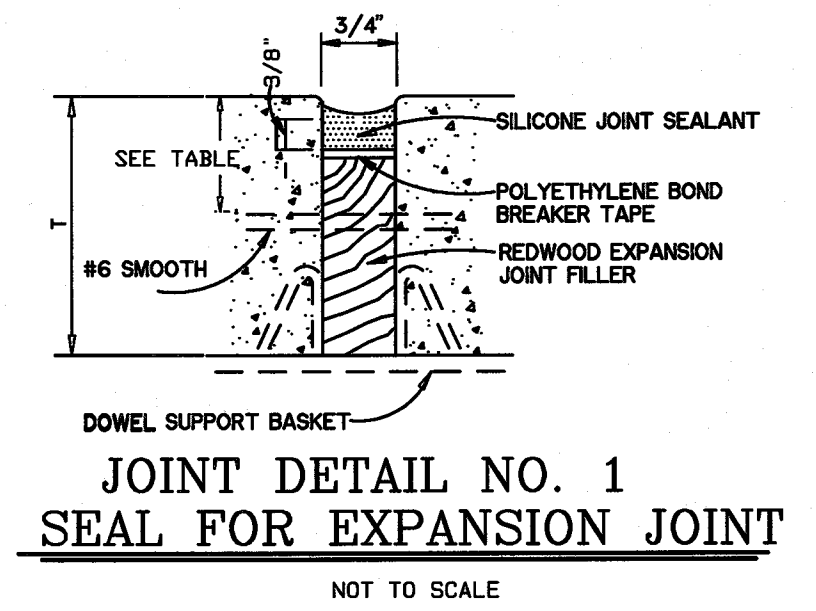
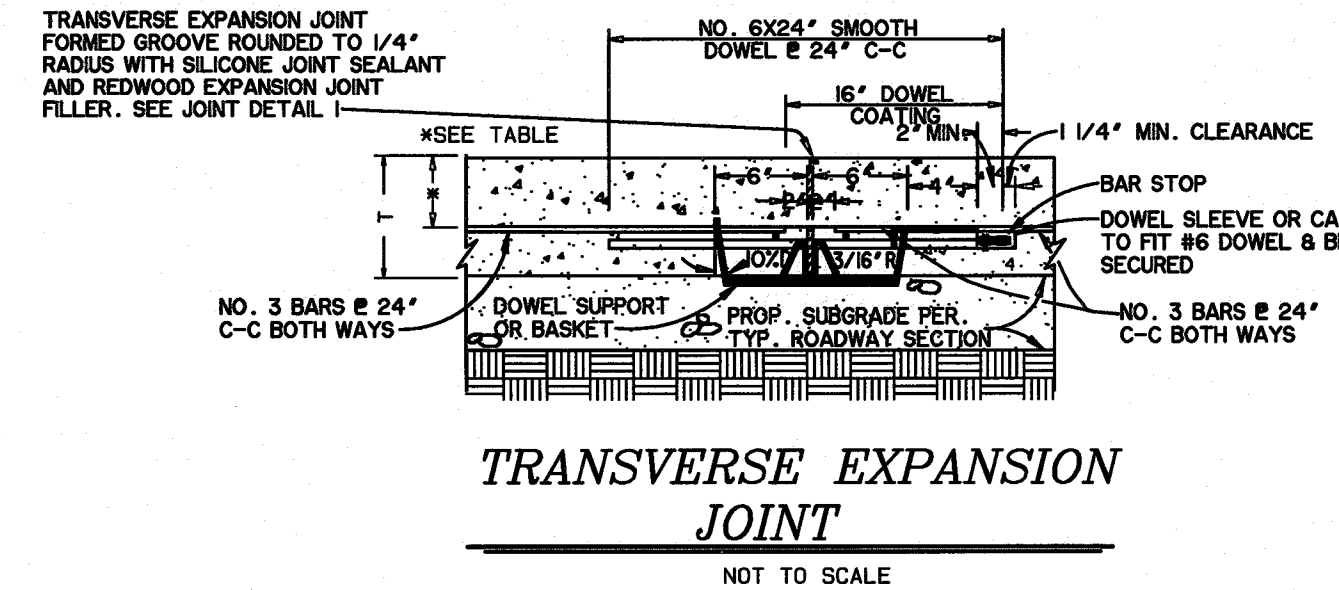
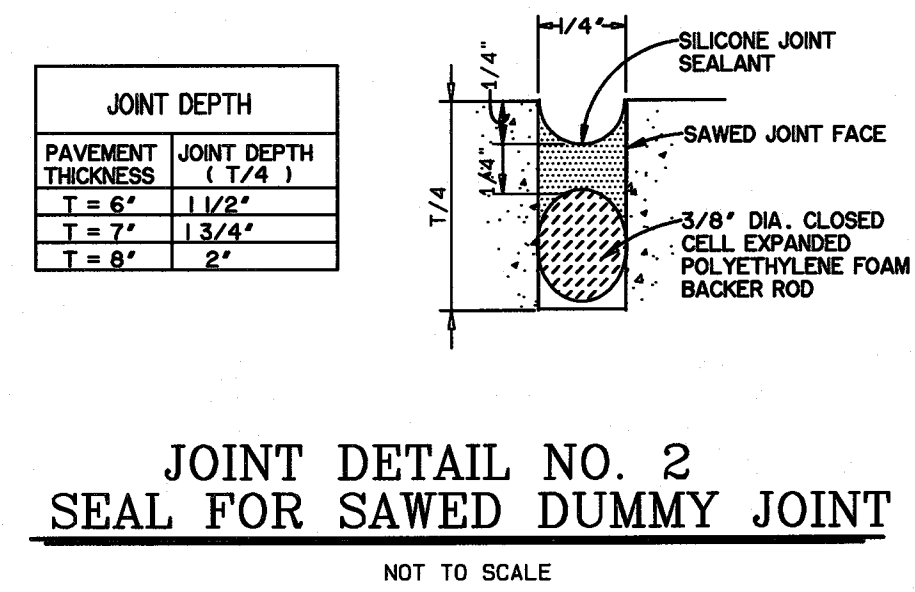
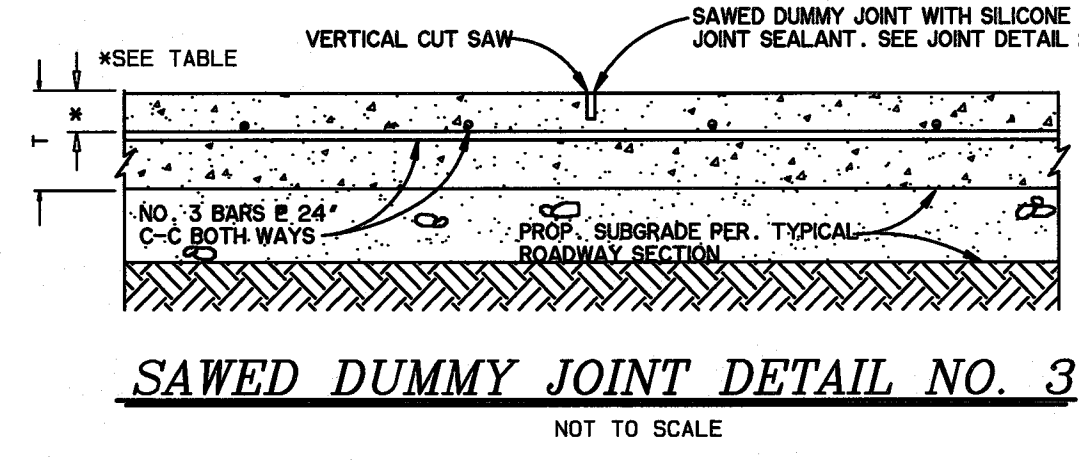
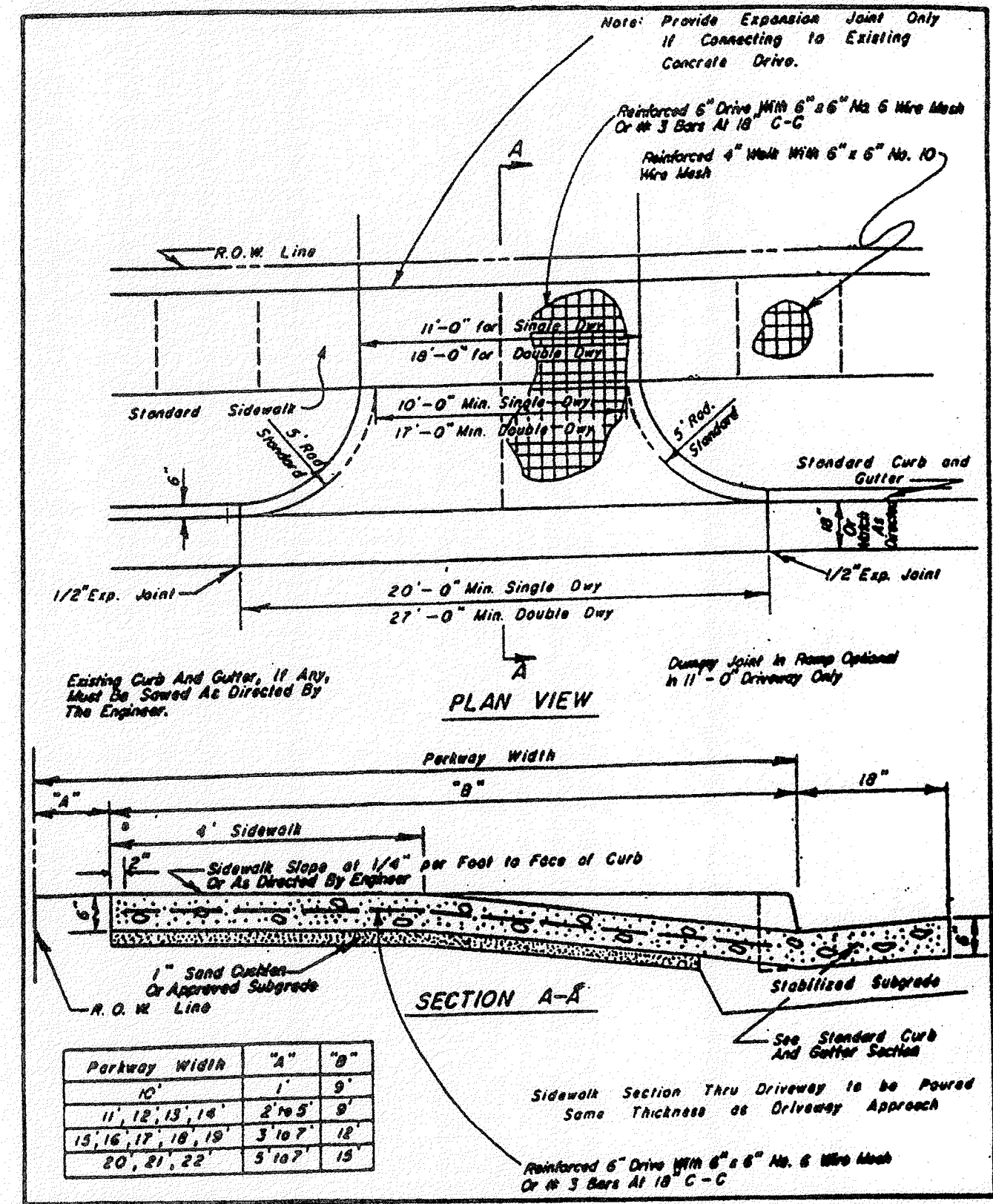
PAVEMENT THICKNESS	SPACING
T = 5"	10'
T = 6"	12'
T = 7"	14'
T = 8"	16'



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BENCH MARK ELEVATION: 642.27

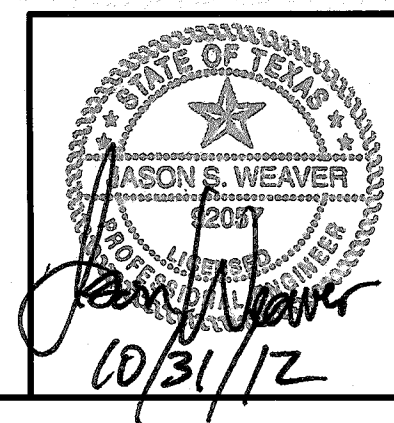
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DATE: JUNE 3, 2013



Rady & Associates, Inc.
Engineers - Architects - Planners
100 Collier Road, Suite 1000, Dallas, Texas 75241 409.395.6511

CITY OF ROANOKE STANDARD DETAIL

DRIVEWAY DETAILS

NO. 16

CITY OF ROANOKE, TEXAS DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION PHASE 3D

CITY OF ROANOKE, TEXAS

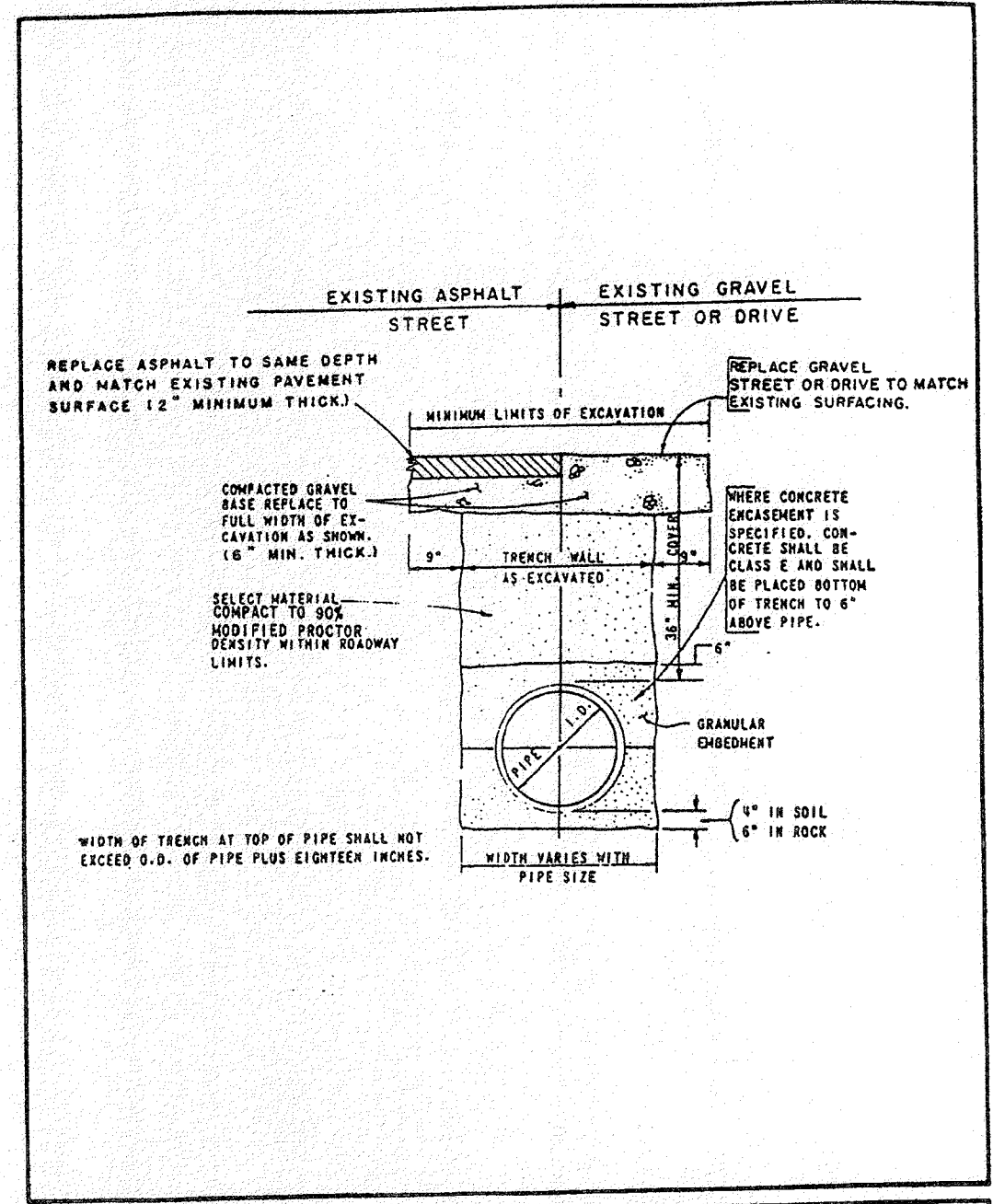
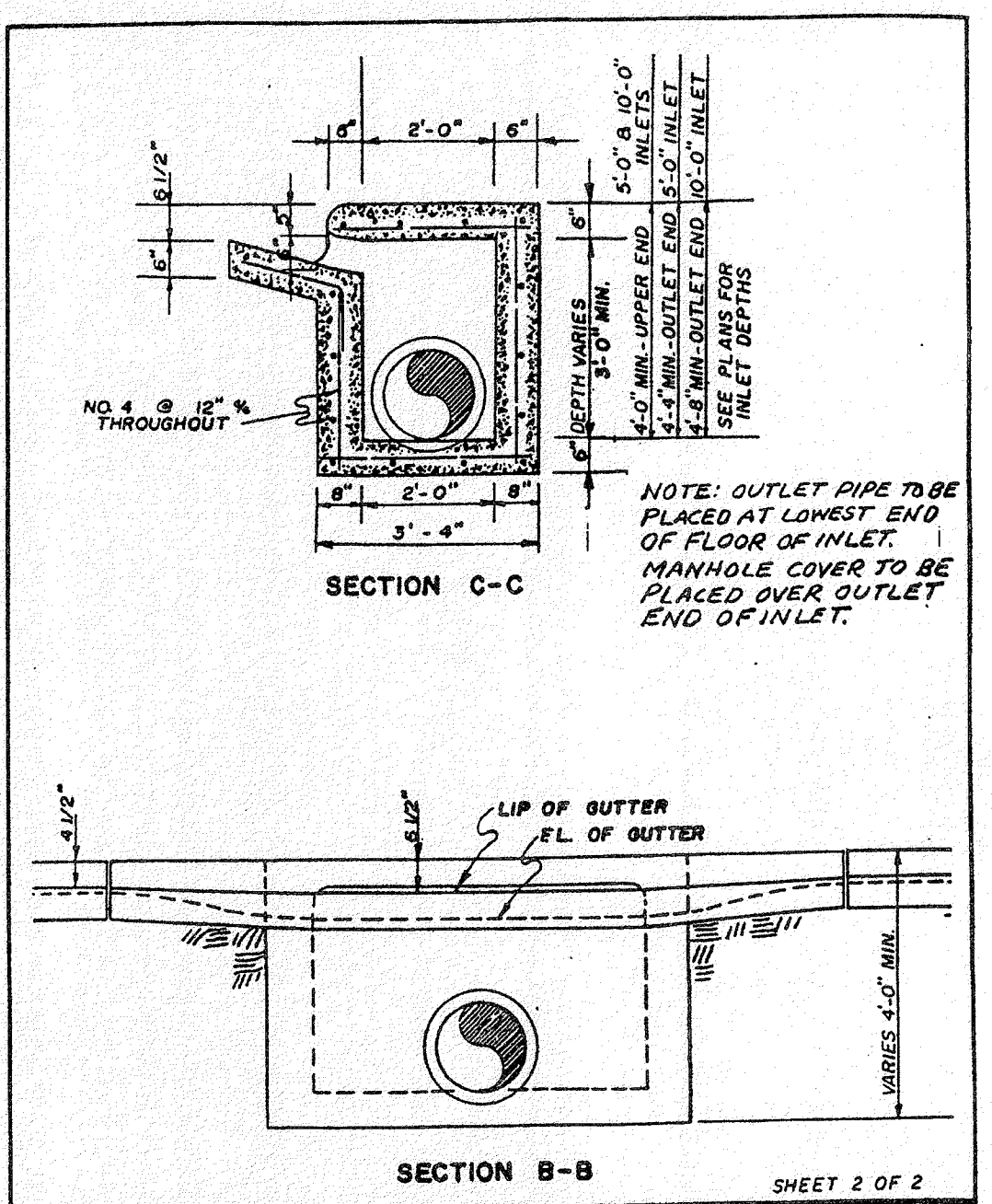
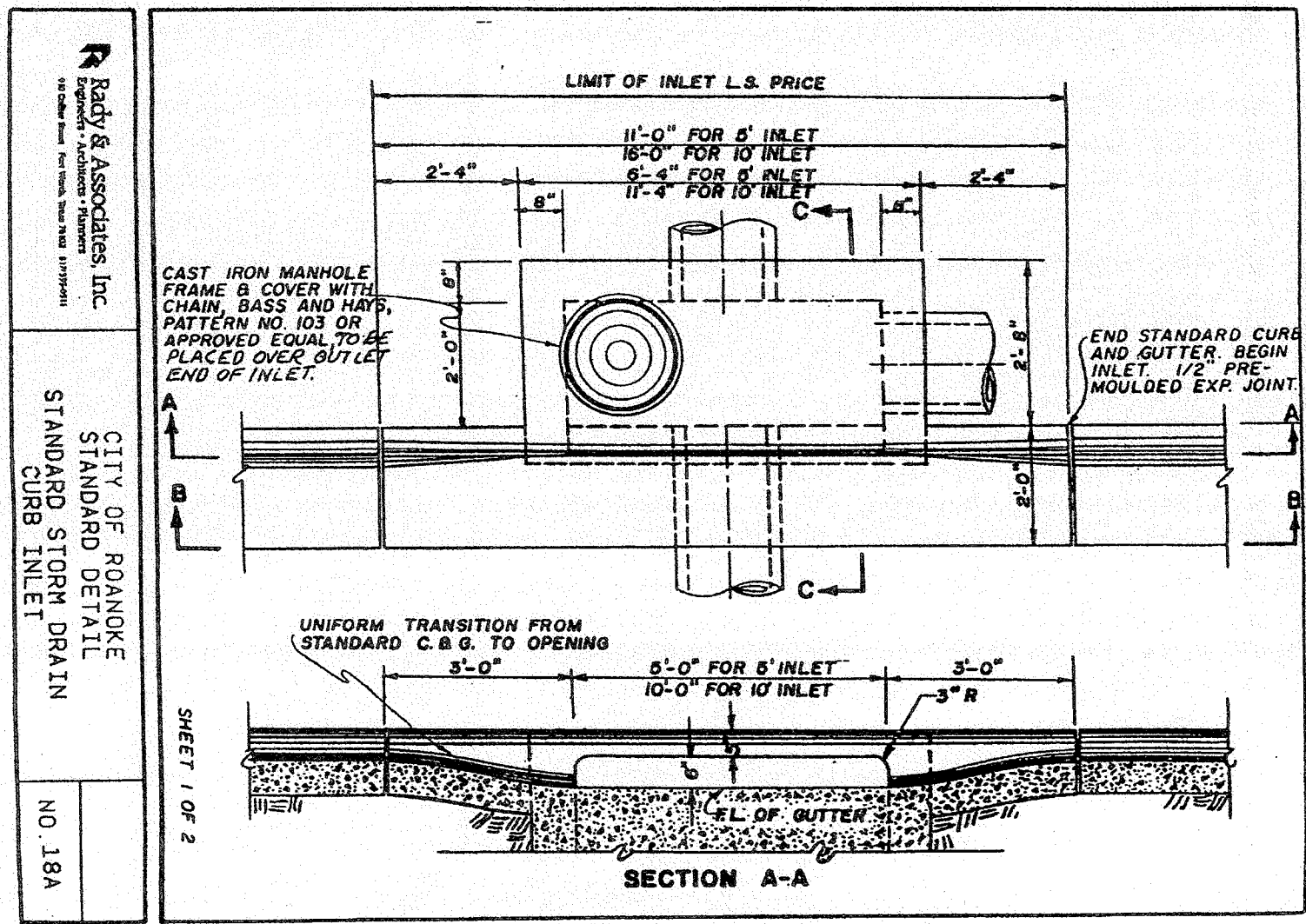
PAVING & STORM DRAIN DETAILS

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2408 MUSTANG DRIVE, GRAPEVINE, TEXAS 76049
TYPE Registration # F-2344

Job No.: 10323 Design: JSW
Date: OCTOBER 2012 Draft: BRM
Scale: AS SHOWN Review:
SHEET: 15 of 21

DATE: JUNE 3, 2013

10/31/12



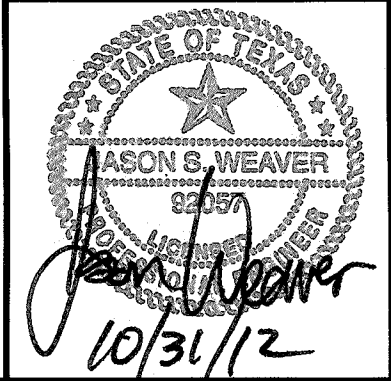
Rady & Associates Inc.
Engineers - Architects - Planners
11100 Dallas Road, Fort Worth, Texas 76150
CITY OF ROANOKE
STANDARD STORM DRAIN
CURB INLET
NO. 18A

Rady & Associates Inc.
Engineers - Architects - Planners
11100 Dallas Road, Fort Worth, Texas 76150
CITY OF ROANOKE
STANDARD DETAIL
STANDARD STORM DRAIN
CURB INLET
NO. 18B
SHEET 2 OF 2

Rady & Associates Inc.
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11100 Dallas Road, Fort Worth, Texas 76150
CITY OF ROANOKE
STANDARD DETAIL
TYPICAL TRENCH DETAIL
NO. 1

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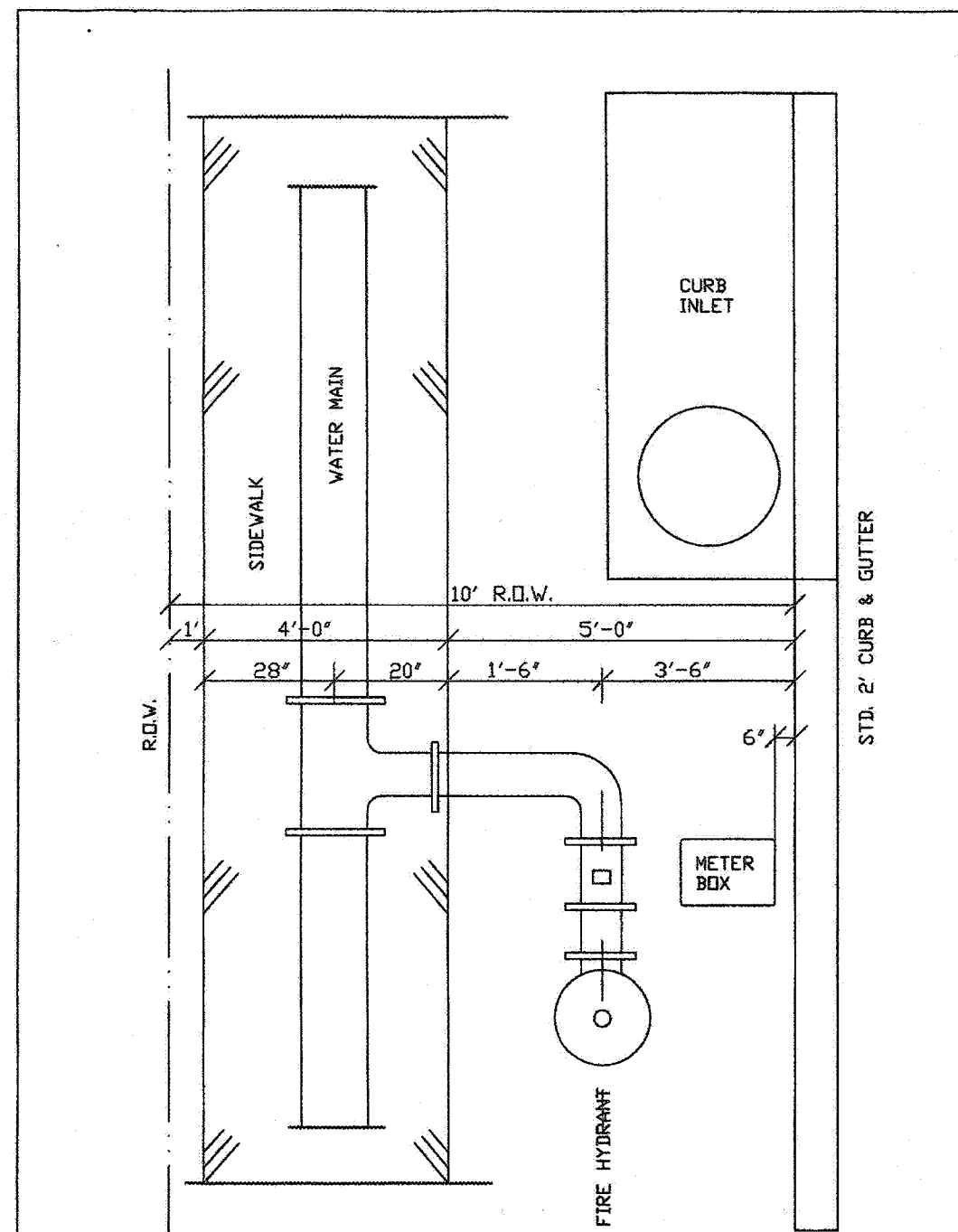
CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

STORM DRAIN DETAILS

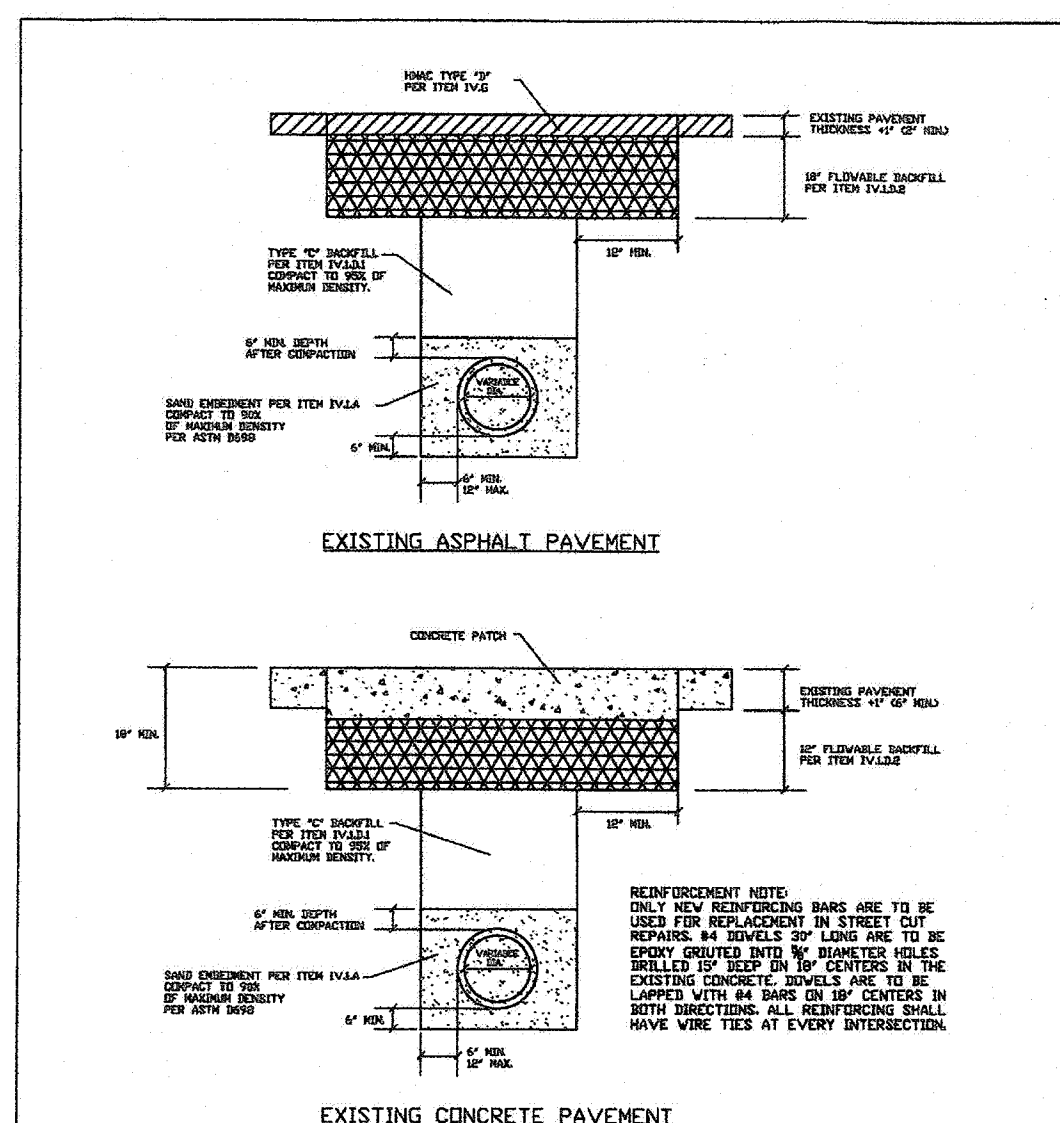
GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2405 MURPHY DRIVE, GRAPESVILLE, TEXAS 76041
10/31/12

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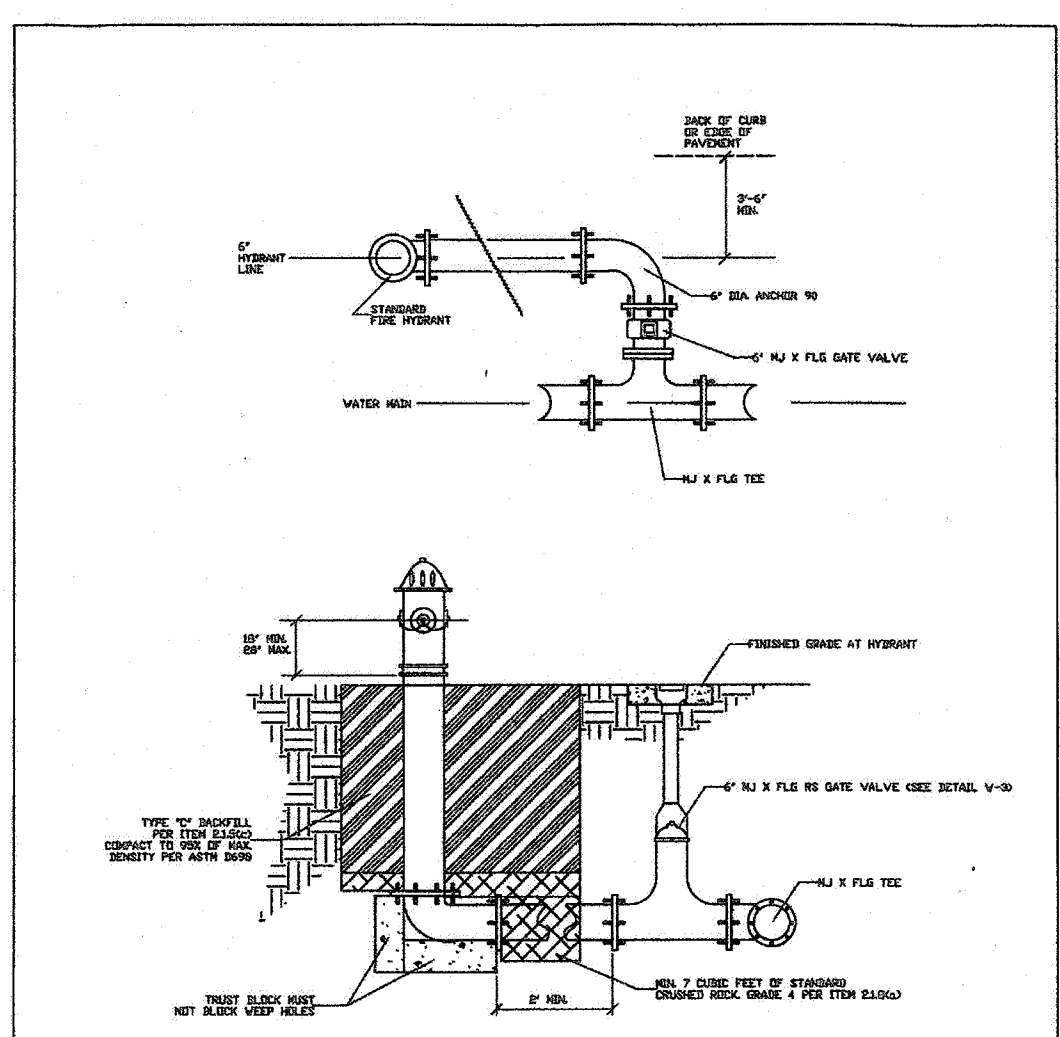
WATER SYSTEM DETAILS:
WATER LINE LOCATION WITH
STD. INLET

DATE: 7-18-08
SHEET: 1 OF 1
PAGE: W-1



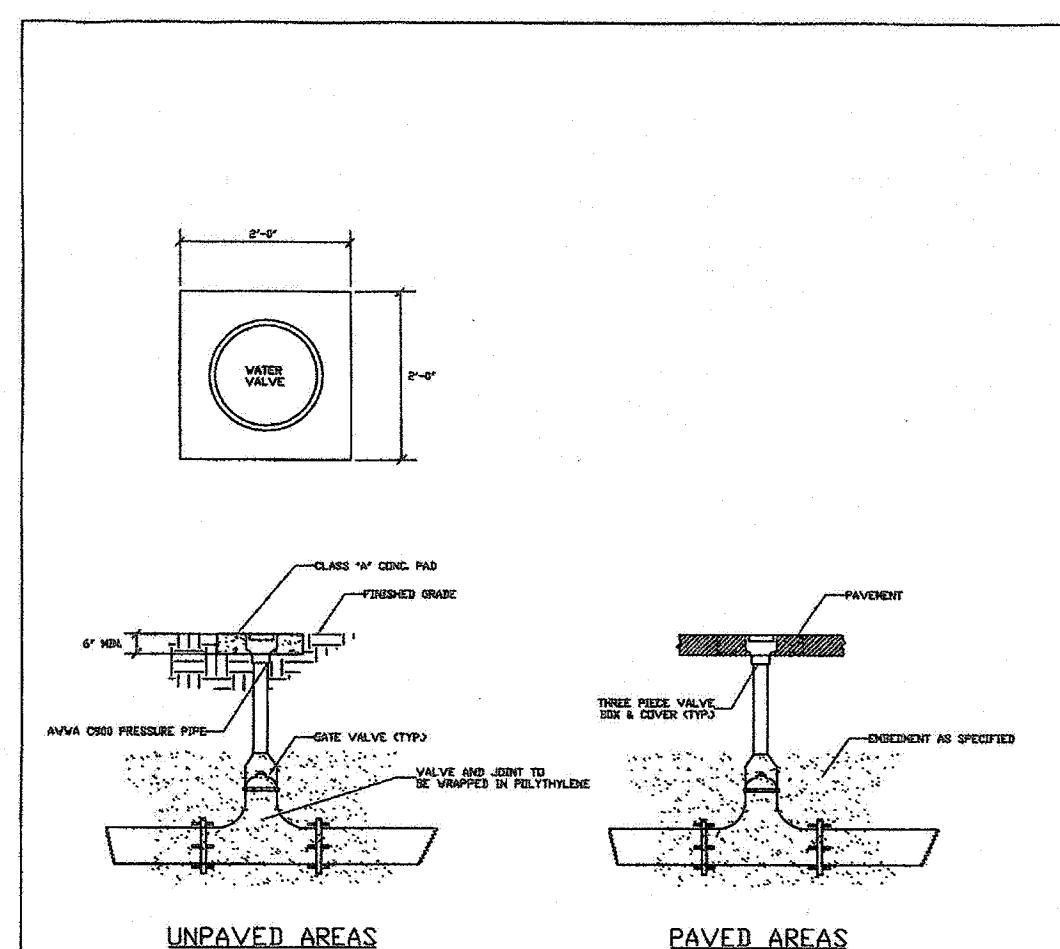
WATER SYSTEM DETAILS:
STANDARD WATER LINE
EMBEDMENT AND BACKFILL

DATE: 7-22-08
SHEET: 2 OF 2
PAGE: W-2



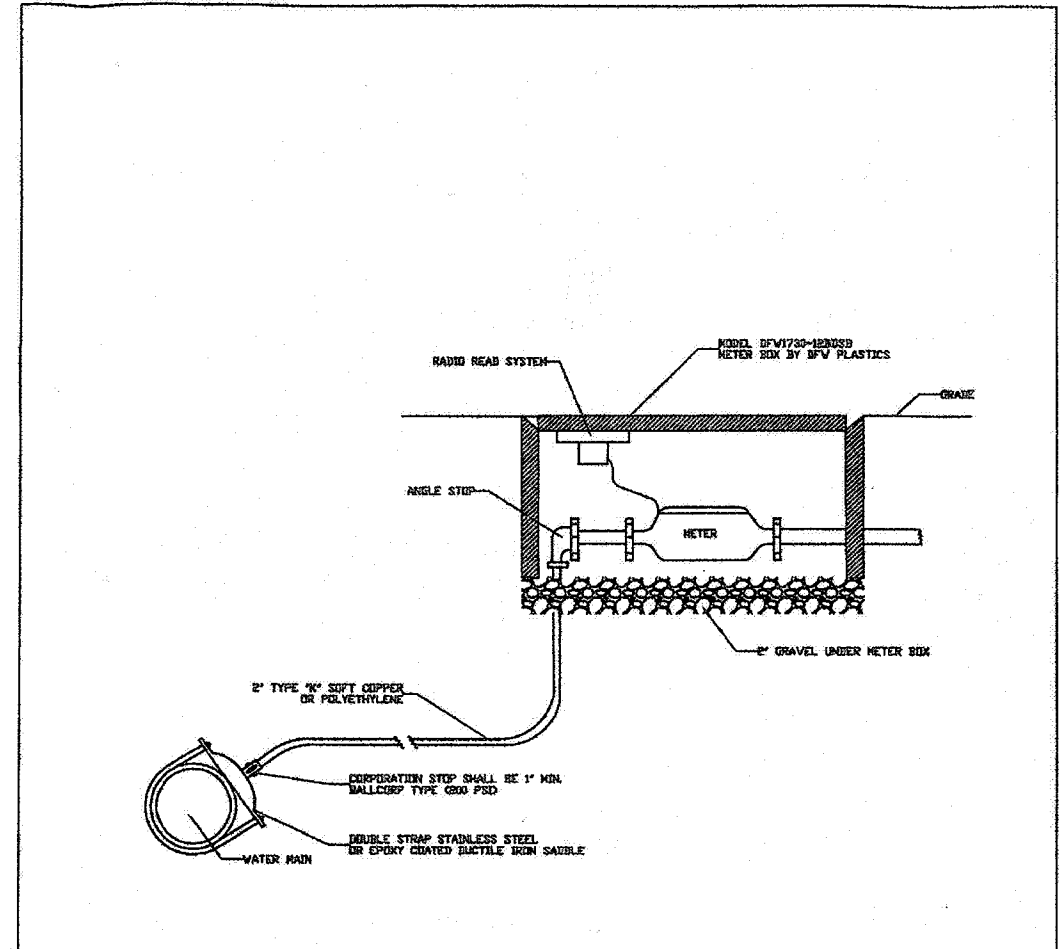
WATER SYSTEM DETAILS:
FIRE HYDRANT INSTALLATION

DATE: 7-22-08
SHEET: 1 OF 1
PAGE: W-3



WATER SYSTEM DETAILS:
GATE VALVE INSTALLATION

DATE: 7-23-08
SHEET: 1 OF 1
PAGE: W-4



WATER SYSTEM DETAILS:
METER SERVICE ASSEMBLY

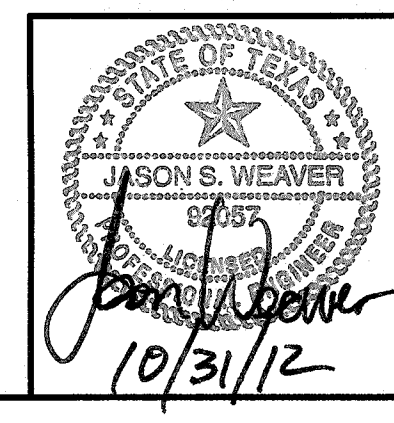
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PAGE: W-5

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THE U.S. HIGHWAY 377 OVERPASS OF STATE HIGHWAY 114.

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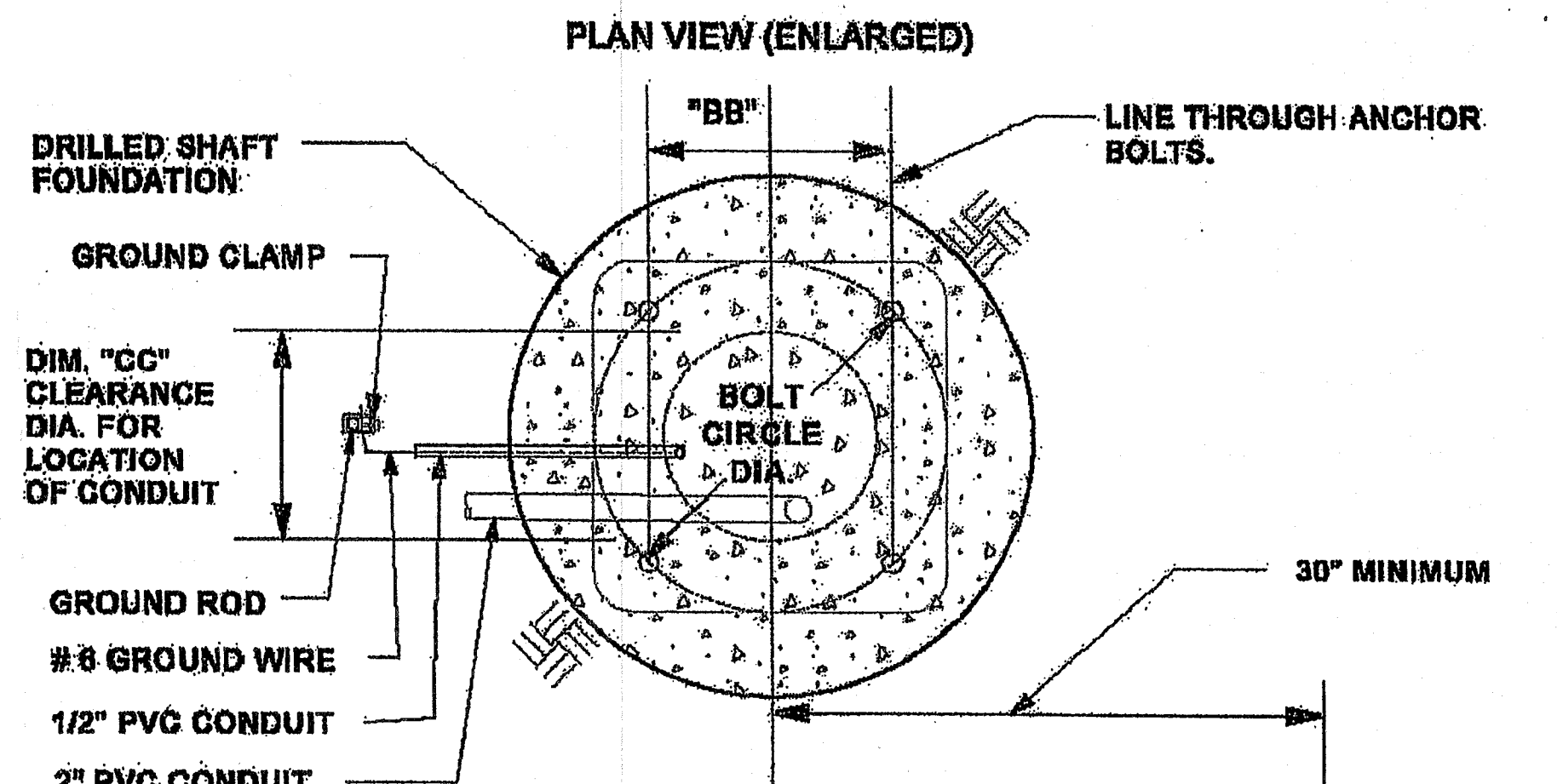
CITY OF ROANOKE, TEXAS
DEPARTMENT OF
PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

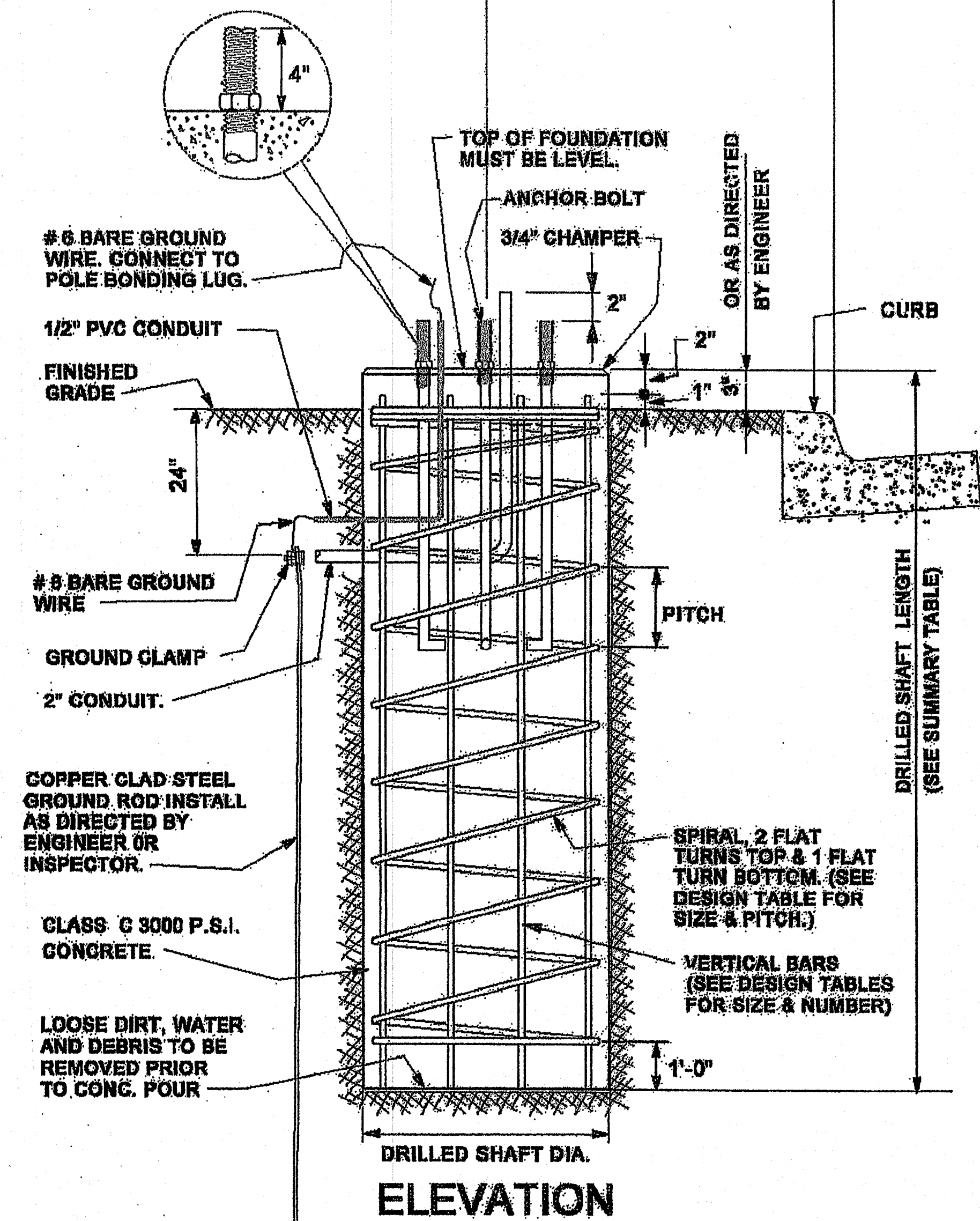
WATER DETAILS

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
2408 MUSTANG DRIVE, GRAPEVINE, TEXAS 76049
TELEPHONE: 972-251-5000

Job No.: 10323 Design: JSW
Date: OCTOBER 2012 Draft: BRM
Scale: AS SHOWN Review:
SHEET: 17 of 21



TOP VIEW



FOUNDATION DETAILS

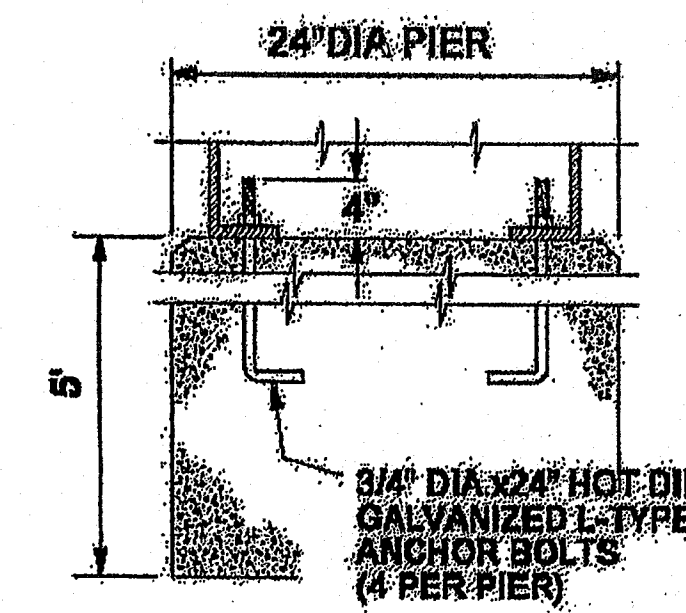
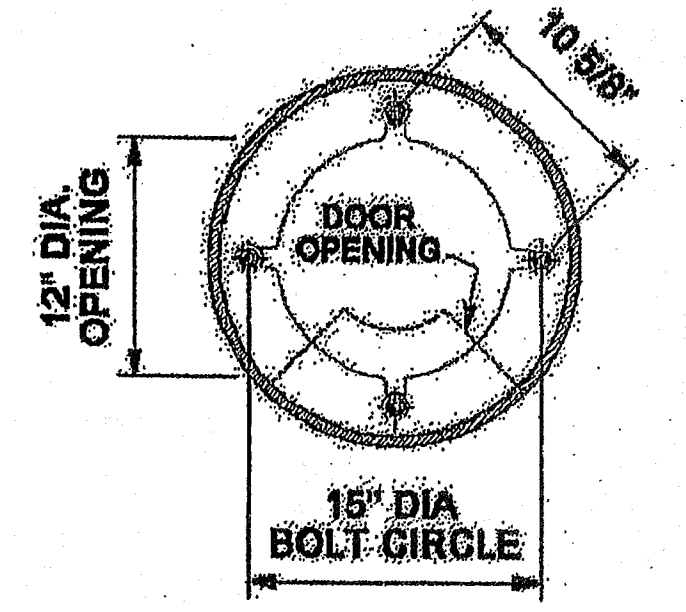
FND. TYPE	DRILLED SHAFT DIA	REINFORCING STEEL		DRILLED SHAFT LENGTH (FEET)	GROUND ROD SIZE	ANCHOR BOLT DESIGN					DIM. "CC" CLEARANCE DIA. FOR LOCATION OF CONDUIT	FOR POLE TYPE
		VERT BARS	SPIRAL & PITCH			ANCHOR BOLT DIA	ANCHOR BOLT TOTAL LENGTH	BOLT CIR DIA	ANCHOR TYPE No.	DISTANCE ACROSS BOLTS DIM. "BB"		
1	24"	4-#5	#3 at 6"	6	5/8" x 8'	1"	40"	10"	47	7 1/16"	6 1/2"	11
2	24"	4-#5	#3 at 6"	6	5/8" x 8'	1"	40"	11"	47	7 3/4"	7"	8 & D30-6
3	24"	4-#5	#3 at 6"	6	5/8" x 10'	1"	40"	11 1/2"	47	8 1/8"	7 1/2"	18
4	24"	4-#5	#3 at 6"	6	5/8" x 8'	1"	40"	10 1/2"	47	7 7/16"	6 1/2"	D25-8
5	24"	6-#5	#3 at 6"	8	5/8" x 10'	1 1/4"	54"	13"	51	9 3/16"	8 1/2"	D40-6T, *D40-8
6	24"	6-#5	#3 at 6"	8	5/8" x 10'	1 1/4"	54"	13 1/2"	51	9 9/16"	9 1/2"	18A
7	24"	4-#5	OMIT	5	5/8" x 8'	3/4"	24"	15"	N/A	10 5/8"	10"	**A11/20 & **A14/20
8	24"	6-#5	#3 at 6"	8	5/8" x 10'	1 1/2"	60"	15"	49	10 5/8"	10"	19

- NOTES :**
- IF ROCK IS ENCOUNTERED, THE DRILL SHAFT SHALL EXTEND A MINIMUM OF TWO DIAMETERS INTO SOLID ROCK AND HAVE A MINIMUM OF 6 FEET SHAFT DEPTH FOR FND. TYPE 3, 5, 6 AND 8.
 - ANCHOR BOLTS SHALL BE GALVANIZED THE FULL LENGTH.
 - SUPPLY 2 NUTS & 2 WASHERS WITH EACH ANCHOR BOLT

*ALSO DOUBLE ARM
**ANTIQUE STYLE

ANCHOR BOLT INSTALLATION PROCEDURE :

ANCHOR BOLT THREADS SHALL BE TAPED PRIOR TO POURING CONCRETE. THREADS OF ANCHOR BOLTS SHALL BE COATED WITH PIPE JOINT COMPOUND PRIOR TO INSTALLATION OF UPPER NUTS WHEN ERECTING POLE. AFTER POLE IS PLUMBED AND IN PERMANENT ALIGNMENT, THE EXPOSED THREADS OF PAINTED BOLTS SHALL BE CLEANED AND AN ADDITIONAL COATING OF ZINC-RICH PAINT APPLIED TO SEAL THE BOLT THREAD-NUT JOINT.

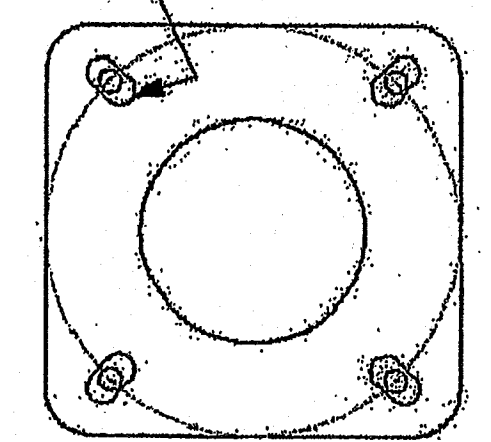


NOTE: CONDUIT & GROUND ROD NOT SHOWN FOR CLARITY.

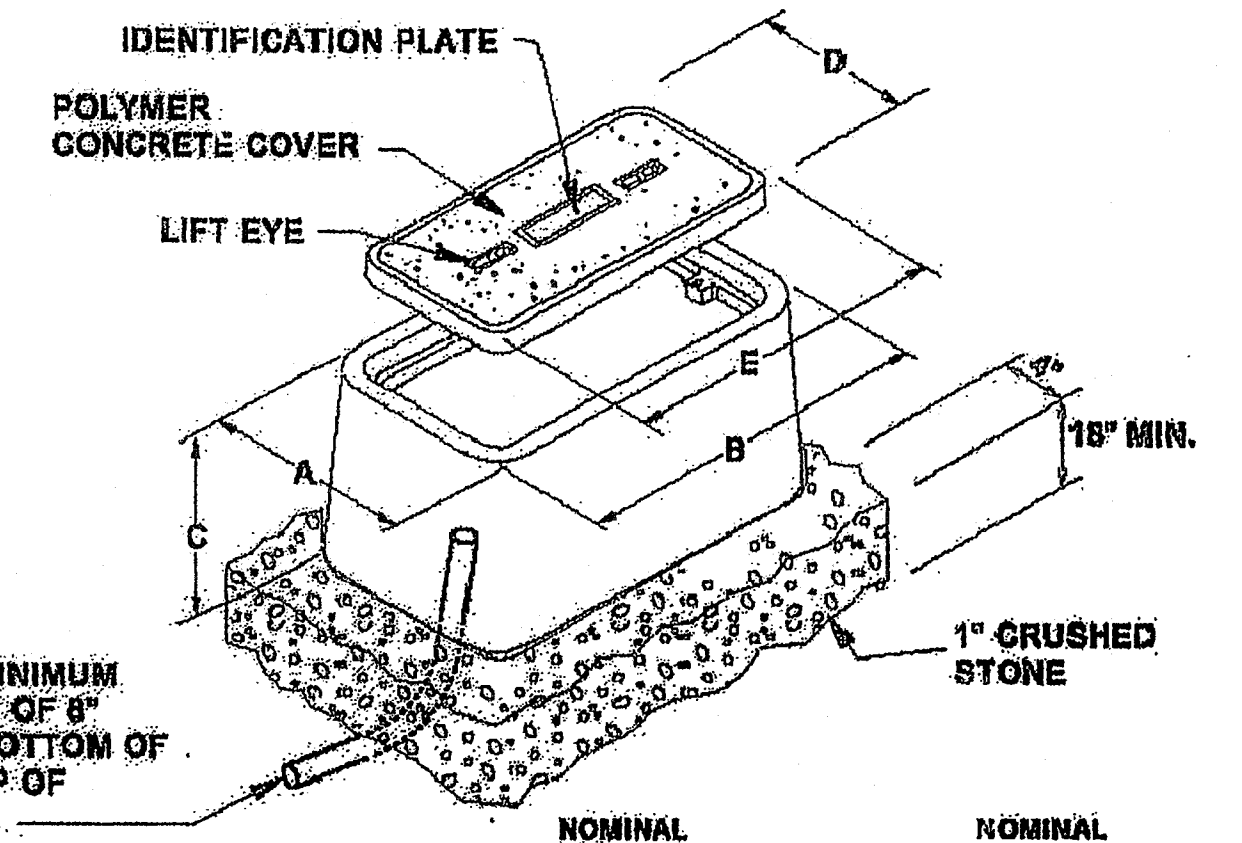
SEE FOUNDATION DESIGN TABLE
USE TYPE 7 FOUNDATION

FOR ANTIQUE STYLE STREET LIGHT POLE

BASE PLATE TO BE SLOTTED AND SIZED TO ACCEPT REQUIRED ANCHOR BOLTS.



POLE BASE PLATE



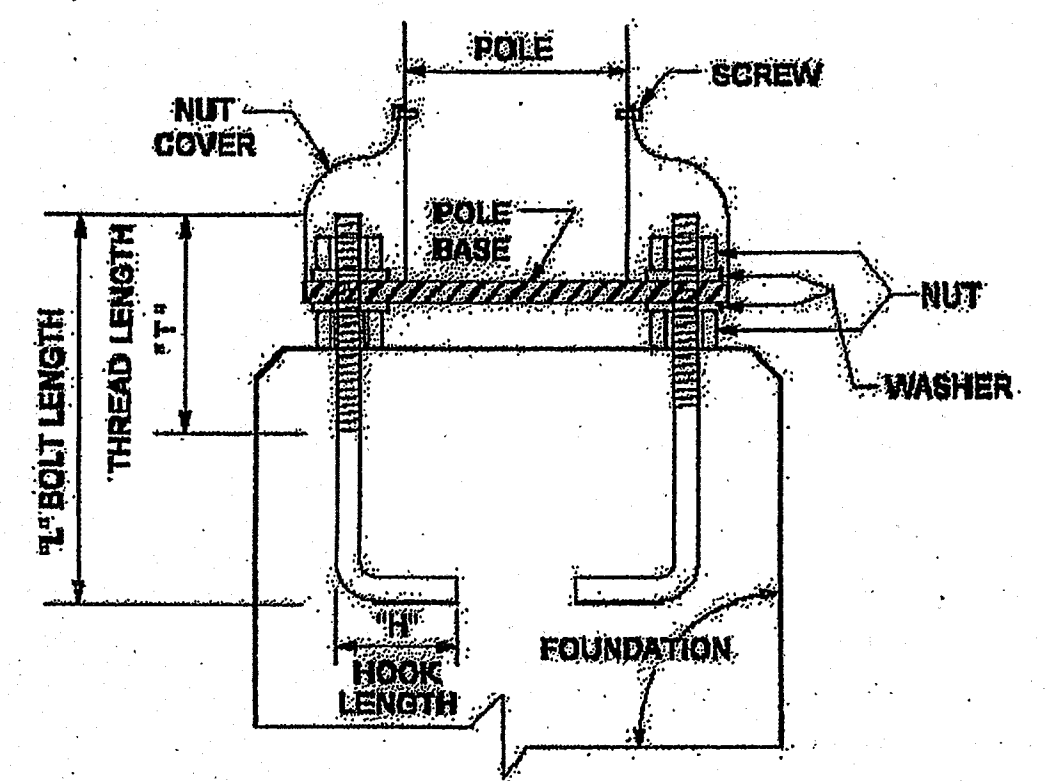
MAINTAIN MINIMUM CLEARANCE OF 8" BETWEEN BOTTOM OF LID AND TOP OF 2" CONDUIT.

PULLBOX	NOMINAL BOX DIMENSIONS			NOMINAL COVER DIMENSIONS	
	A	B	C	D	E
SMALL	16 1/4"	23 1/4"	12"	11 3/8"	15 1/8"
LARGE	20 3/4"	32 1/2"	12"	19 1/2"	31 1/2"

GROUND BOX DETAIL (PULL BOX)

GROUND BOX NOTES

GROUND BOXES AND COVERS SHALL BE MANUFACTURED FROM REINFORCED POLYMER CONCRETE (RPM) COMPOSED OF BOROSILICATE GLASS FIBER, A CATALYZED POLYESTER RESIN AND AN AGGREGATE. SIDE WALLS MAY BE FIBER REINFORCED POLYMER. BOTTOM EDGE OF BOX OR EXTENSION SHALL BE FOOTED WITH A MINIMUM 1 1/4" FLANGE. COVER LIFT EYE—MOLDED WITH COVER. COVER LETTERING—1" INCISED LETTERS "LIGHT & SIGNAL". GROUND BOX AND COVER MUST BE ABLE TO WITHSTAND A MINIMUM 12,000 LB PER WHEEL LOAD. LOAD REQUIREMENTS SHALL BE TESTED BY AN INDEPENDENT LABORATORY AND A CERTIFICATION OF SUCH TESTS SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL. THE GROUND BOXES FOR THIS PROJECT SHALL MEET THE REQUIREMENTS SHOWN ABOVE. THE CONTRACTOR WILL BE PERMITTED TO FURNISH LIKE MATERIALS OF ANY MANUFACTURER PROVIDED THEY ARE OF EQUAL QUALITY AND COMPLY WITH THE SPECIFICATIONS.



TYPE NO.	BOLT DIA. (IN.)	LENGTH (IN.)	HOOK (IN.)	THREAD (IN.)
47	1	36	4	6
49	1 1/2"	54	6	9
51	1 1/4"	48	6	9

ANCHOR BOLT DETAIL

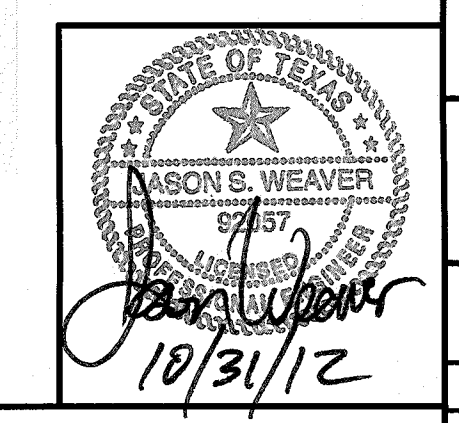
NOTE: ANCHOR BOLTS SHALL BE GALVANIZED THE FULL LENGTH.

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CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

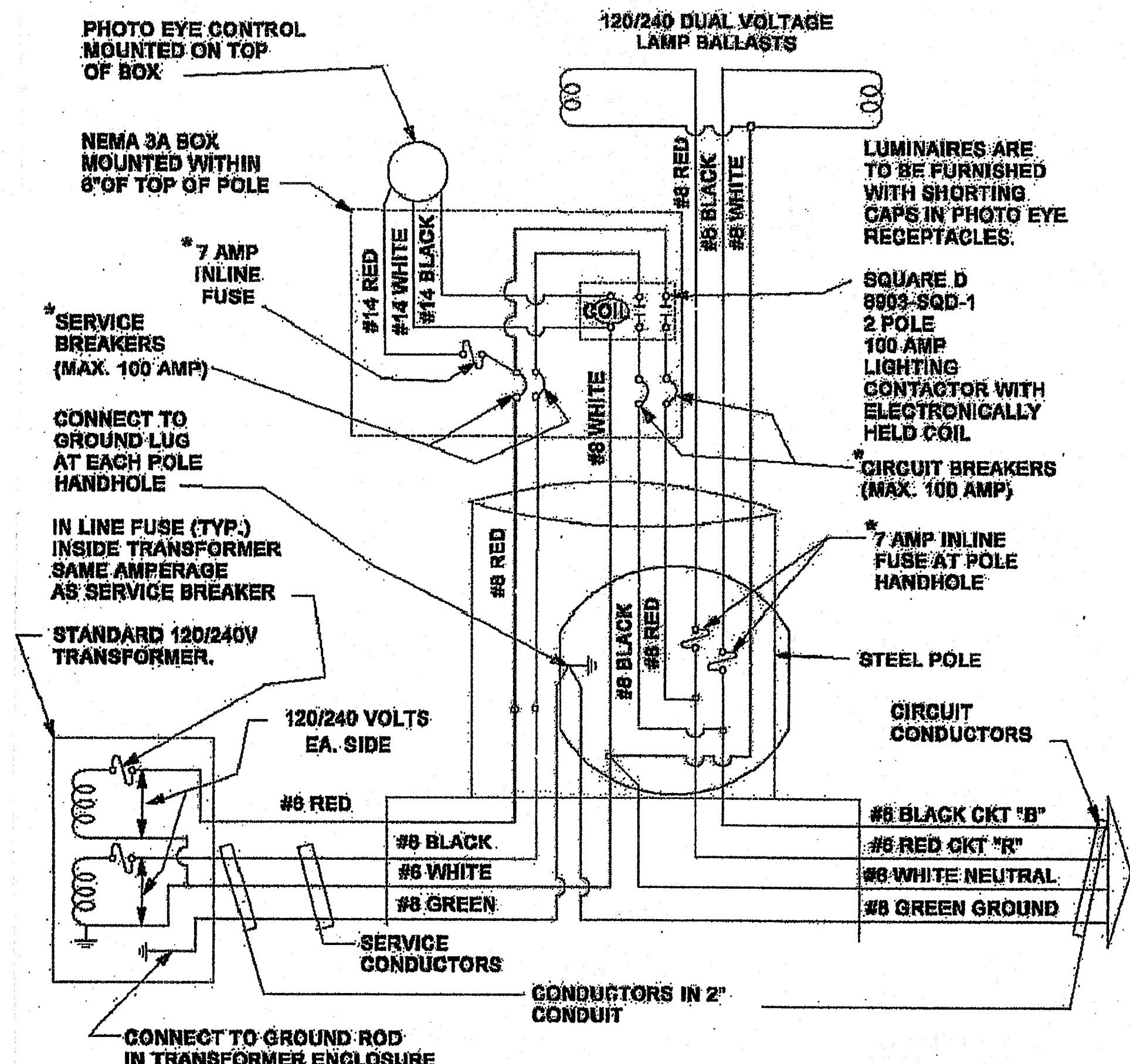
BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

STREET LIGHT
GENERAL NOTES & DETAILS

Job No.: 10323 Design: JSW/BRM
Date: OCTOBER 2012 Draft: BRM
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GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
5405 MARSHALL DRIVE, GRAPEVINE, TEXAS 75041
TYPE REGISTRATION # 52044

SHEET 18 of 21



ALL BREAKERS, BALLASTS, AND PHOTO CONTROL CONNECTED AT 120 VOLTS FOR USE WITH LIGHTS ON METAL POLES CONNECTED TO 120/240 VOLT PAD MOUNTED TRANSFORMER

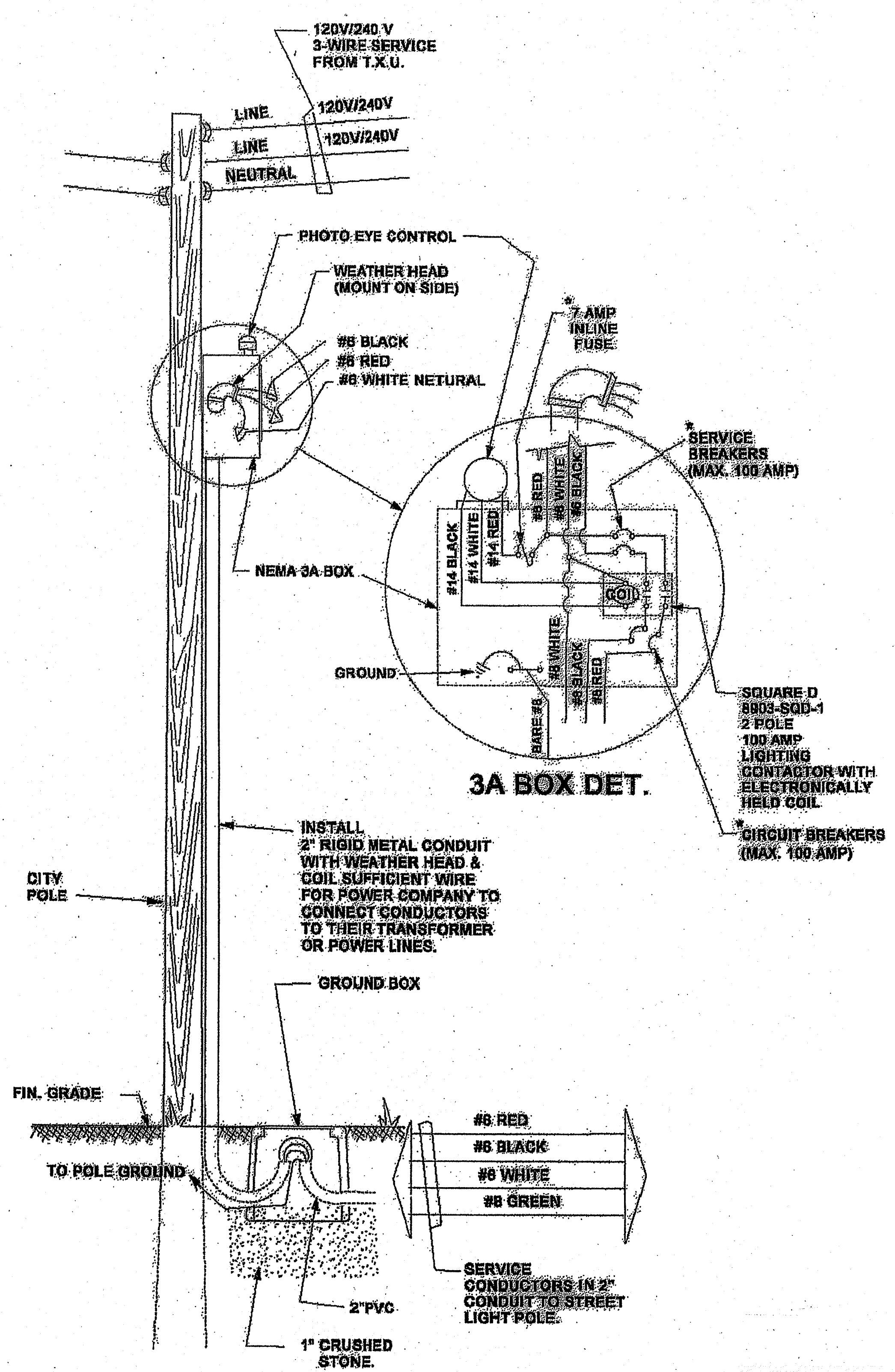
TYPICAL ELECTRICAL CONNECTIONS FOR DUAL STREET LIGHT WITH CONTACTOR

120V OR 240V SERVICE FROM PAD OR POLE MOUNTED TRANSFORMER (240V OR 480V SERVICE WIRED THE SAME)

*SEE ELECTRICAL GENERAL NOTES FOR CIRCUIT BREAKERS AND FUSE TYPES.

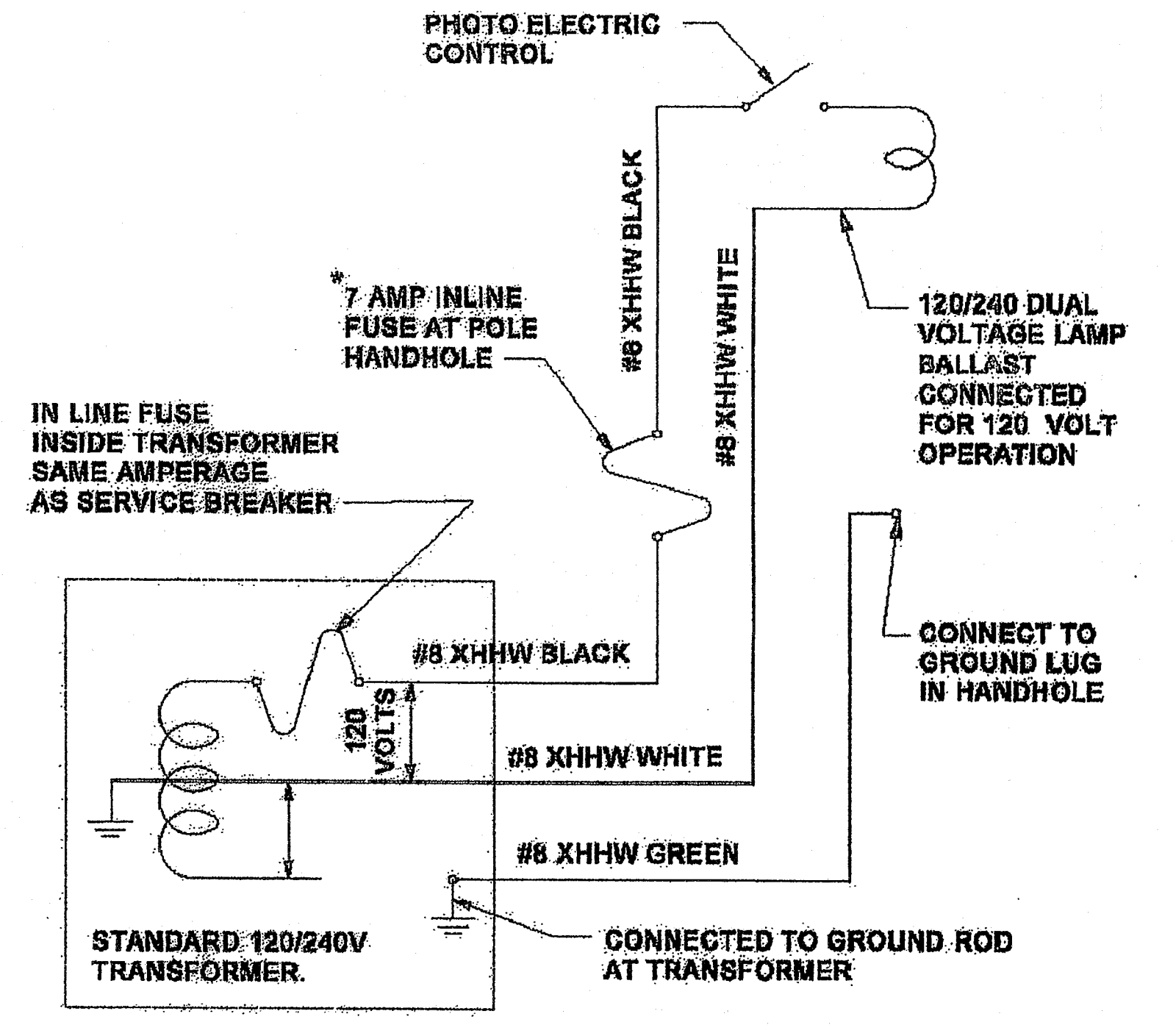
ELECTRICAL GENERAL NOTES:

1. CONNECTIONS TO TRANSFORMERS TO BE MADE ONLY BY POWER COMPANY PERSONNEL. CALL 817-491-6099 AT LEAST THREE (3) WEEKDAYS (MONDAY-FRIDAY) IN ADVANCE TO ARRANGE FOR TRANSFORMER CONNECTIONS.
2. ALL CONDUCTORS IN CIRCUIT SHALL BE STRANDED COPPER WITH XHHW INSULATION.
3. ALL INSULATION TO HAVE CONTINUOUS COLOR CODING.
4. ALL ELECTRICAL CONDUIT, WIRING, ELECTRICAL CONNECTIONS, ECT. SHALL BE INSTALLED ACCORDING TO THE NATIONAL ELECTRIC CODE.
5. ALL SERVICE BREAKERS & CIRCUIT BREAKERS SHALL BE SQUARE D (MAKE), MODEL FAL 14 (STYLE) OR APPROVED EQUAL AND SIZED ACCORDING TO THE CIRCUIT LOAD AS PER THE NATIONAL ELECTRIC CODE. ALL 7-AMP INLINE FUSES SHALL BE FERRAZ SHAWMUT (MAKE OR APPROVED EQUAL) MODEL TRM 7 250V-AC WITH THE FEB-11-11 FUSE HOLDER.



ALTERNATE ELECTRIC SERVICE POLE MOUNTED TRANSFORMER AND/OR SERVICE

*SEE ELECTRICAL GENERAL NOTES FOR CIRCUIT BREAKERS AND FUSE TYPES.



TYPICAL ELECTRICAL CONNECTIONS FOR SINGLE STREET LIGHT

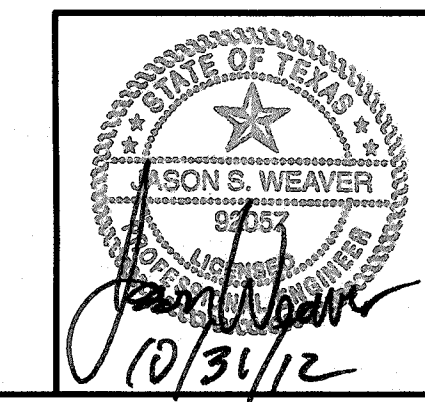
FOR USE WITH INDIVIDUAL LIGHTS ON POLES CONNECTED TO 120/240 OR 240/480 VOLT TRANSFORMER. SEE ELECTRICAL GENERAL NOTES FOR CIRCUIT BREAKERS AND FUSE TYPES.


RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION PROVIDED BY OTHERS. GOODWIN & MARSHALL, INC. IS NOT RESPONSIBLE FOR ERRORS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

DATE: JUNE 3, 2013

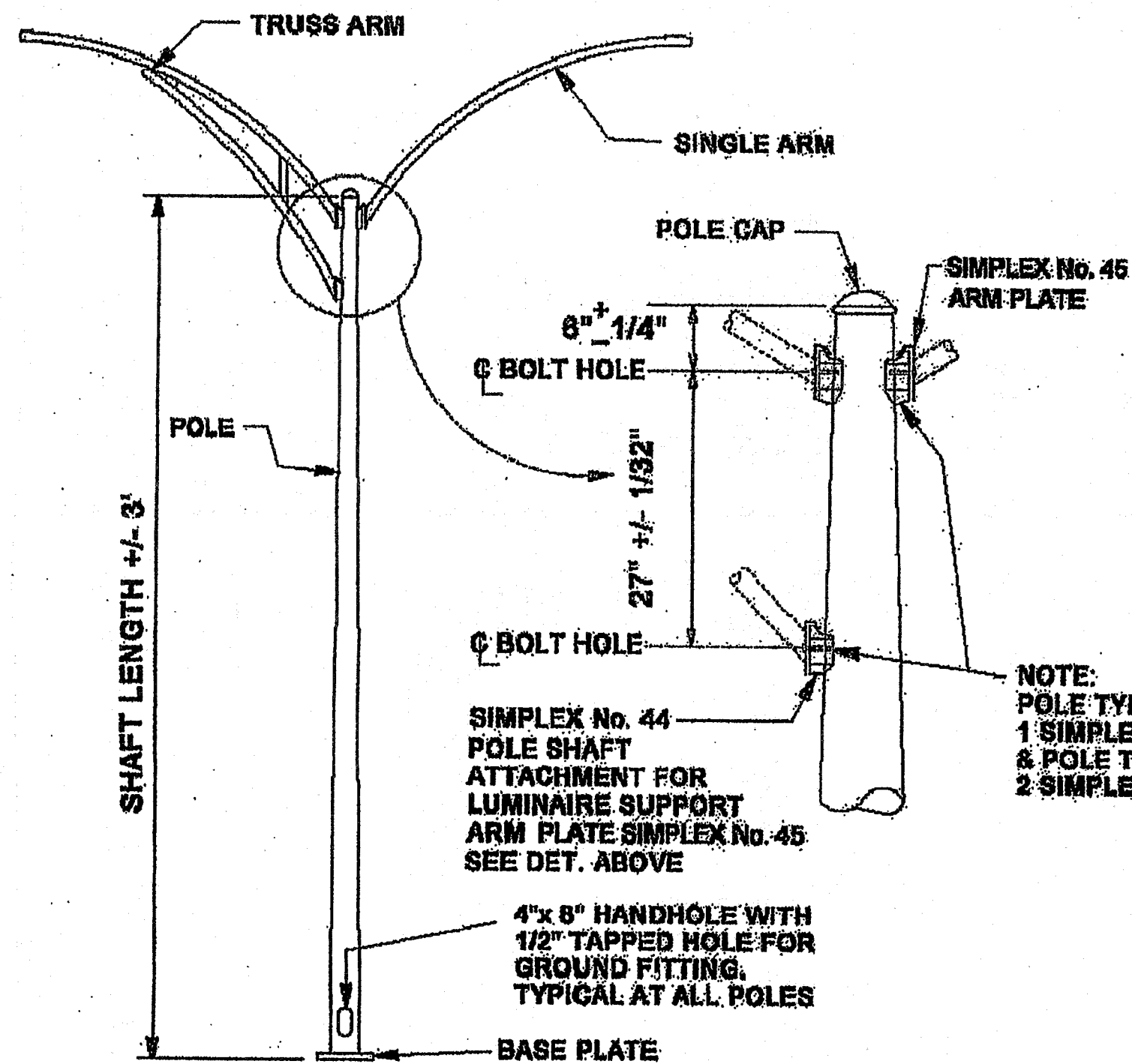
NOTE: THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT



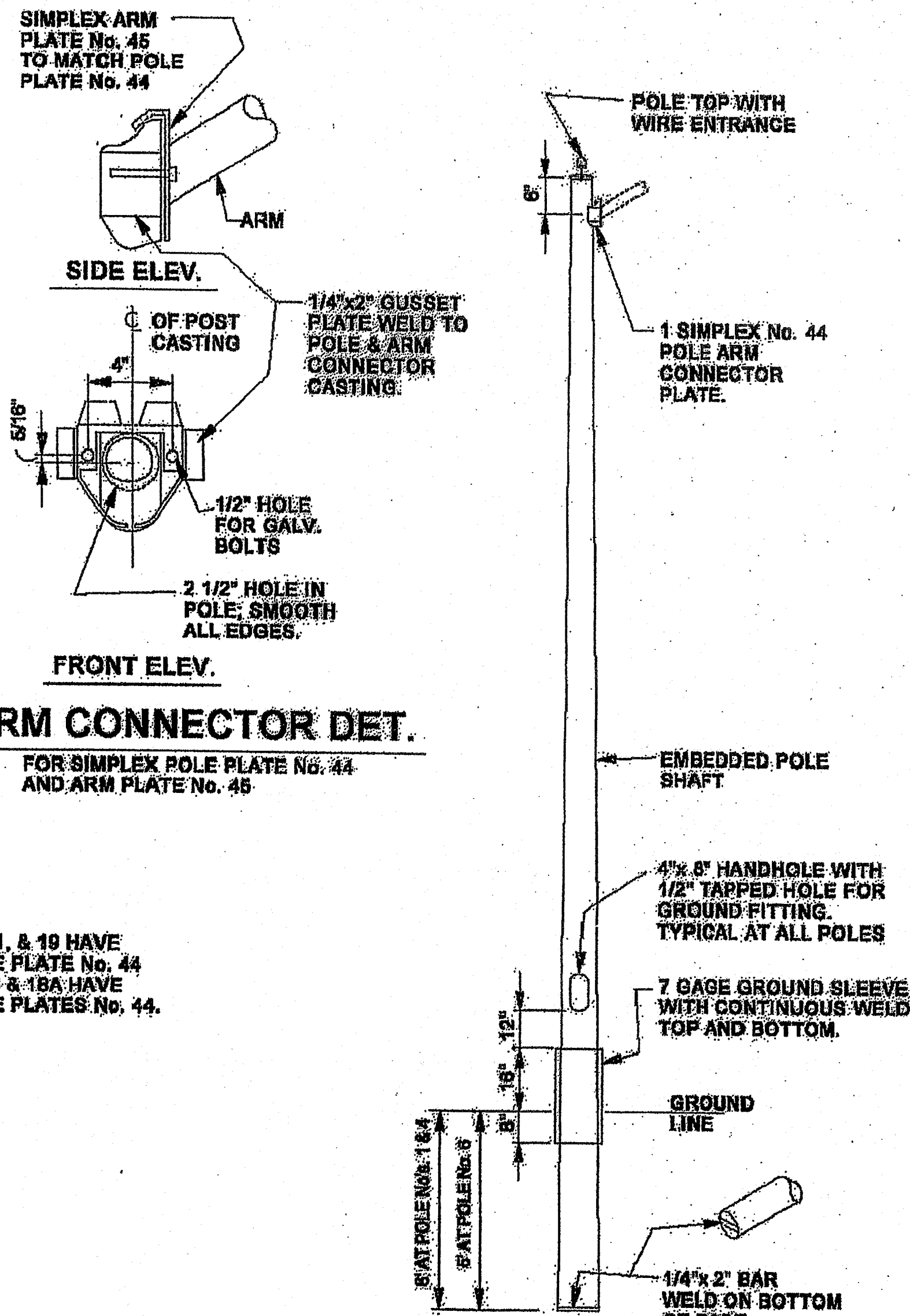
 <p>CITY OF ROANOKE, TEXAS DEPARTMENT OF PUBLIC WORKS</p>	
<p>BRIARWYCK ADDITION PHASE 3D CITY OF ROANOKE, TEXAS</p>	
<p>STREET LIGHT GENERAL NOTES & DETAILS</p>	
<p>GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS</p>	
<p>Job No.: 10323 Date: OCTOBER 2012 Scale: AS SHOWN</p>	<p>Design: JSW/BRM Draft: BRM Review: JSW</p>
<p>SHEET: 19 OF 21</p>	

POLE TYPE	SHAFT LENGTH	SHAFT DIAMETER		GAUGE	DRILLED SHAFT FOUNDATION
		BOTTOM	TOP		
11	24.0'	7.0"	3.5"	11	* TYPE 1
8	27.5'	8.0"	4.22"	11	* TYPE 2
18	33.5'	8.5"	5.17"	11	* TYPE 3
18A	46'	10.0"	5.74"	11	* TYPE 6
19	27.5'	11.0"	7.15"	7	* TYPE 8
1	33.5'	8.84"	4.15"	11	EMBEDDED
4	33.5'	10.84"	5.15"	7	EMBEDDED
6	29'	8.7"	4.64"	5	EMBEDDED

* SEE FOUNDATION DESIGN TABLE



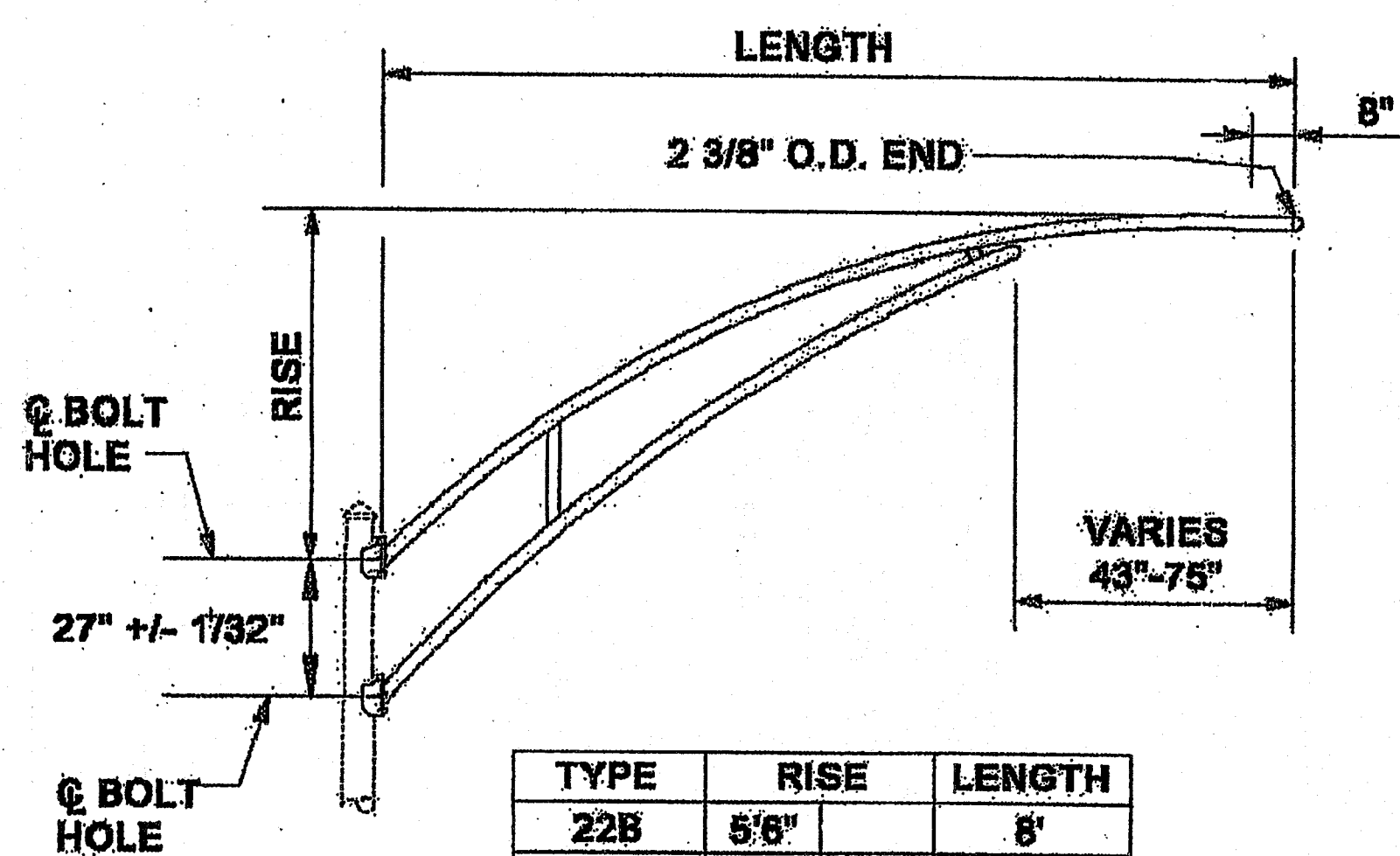
SINGLE PIECE STEEL POLE SHAFT
FOR POLE TYPE No's 8, 11, 18, 18A & 19



ARM CONNECTOR DET.
FOR SIMPLEX POLE PLATE No. 44 AND ARM PLATE No. 45

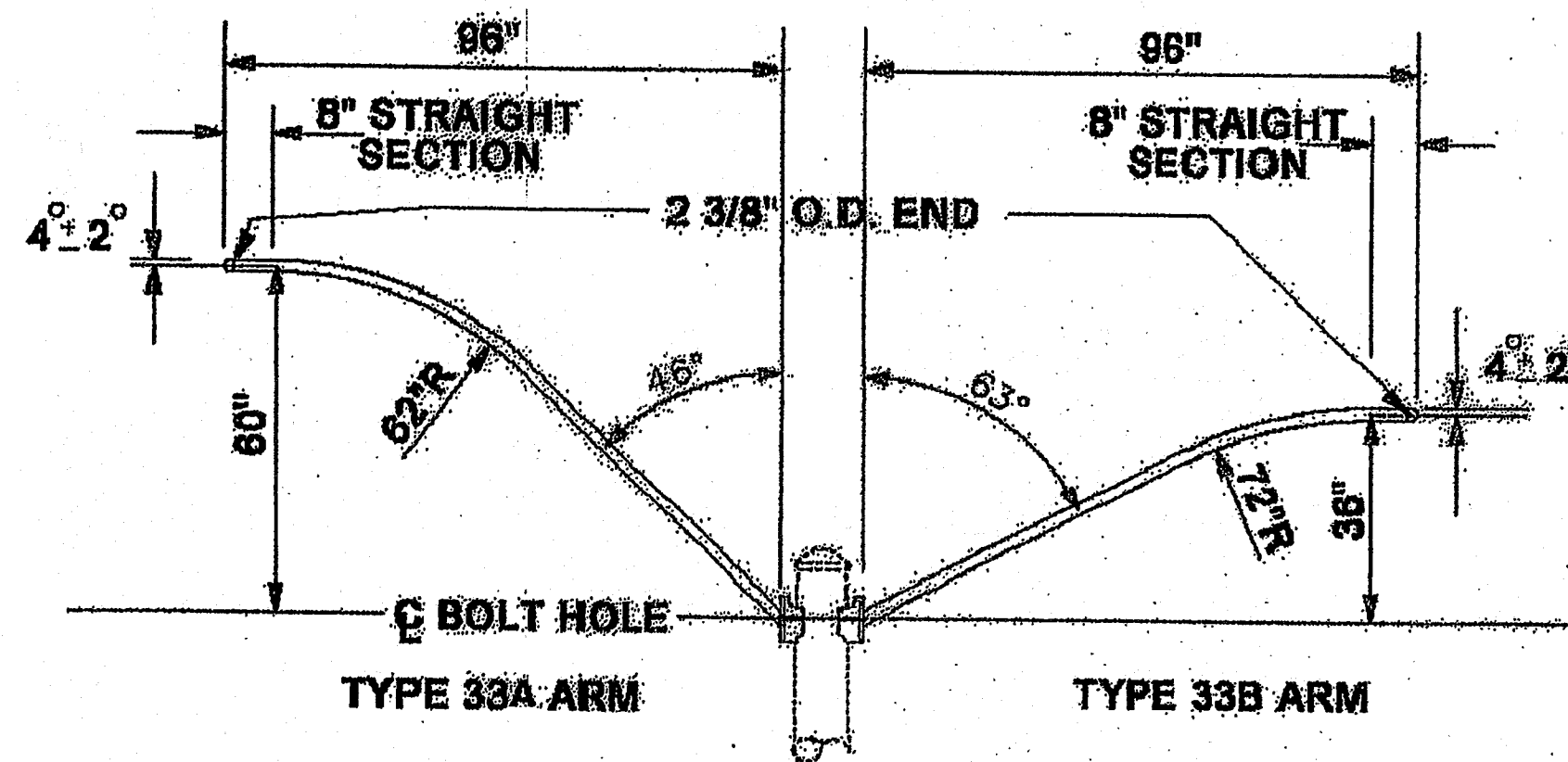
NOTE:
POLE TYPE 8, 11, & 19 HAVE
1 SIMPLEX POLE PLATE No. 44
& POLE TYPE 18 & 18A HAVE
2 SIMPLEX POLE PLATES No. 44.

EMBEDDED POLES
FOR POLE TYPE No's: 1, 4 & 5



TYPE	RISE	LENGTH
22B	5'6"	8'
23A	5'8"	10'
24A	5'6"	12'
25A	5'6"	15'
25	3'	15'

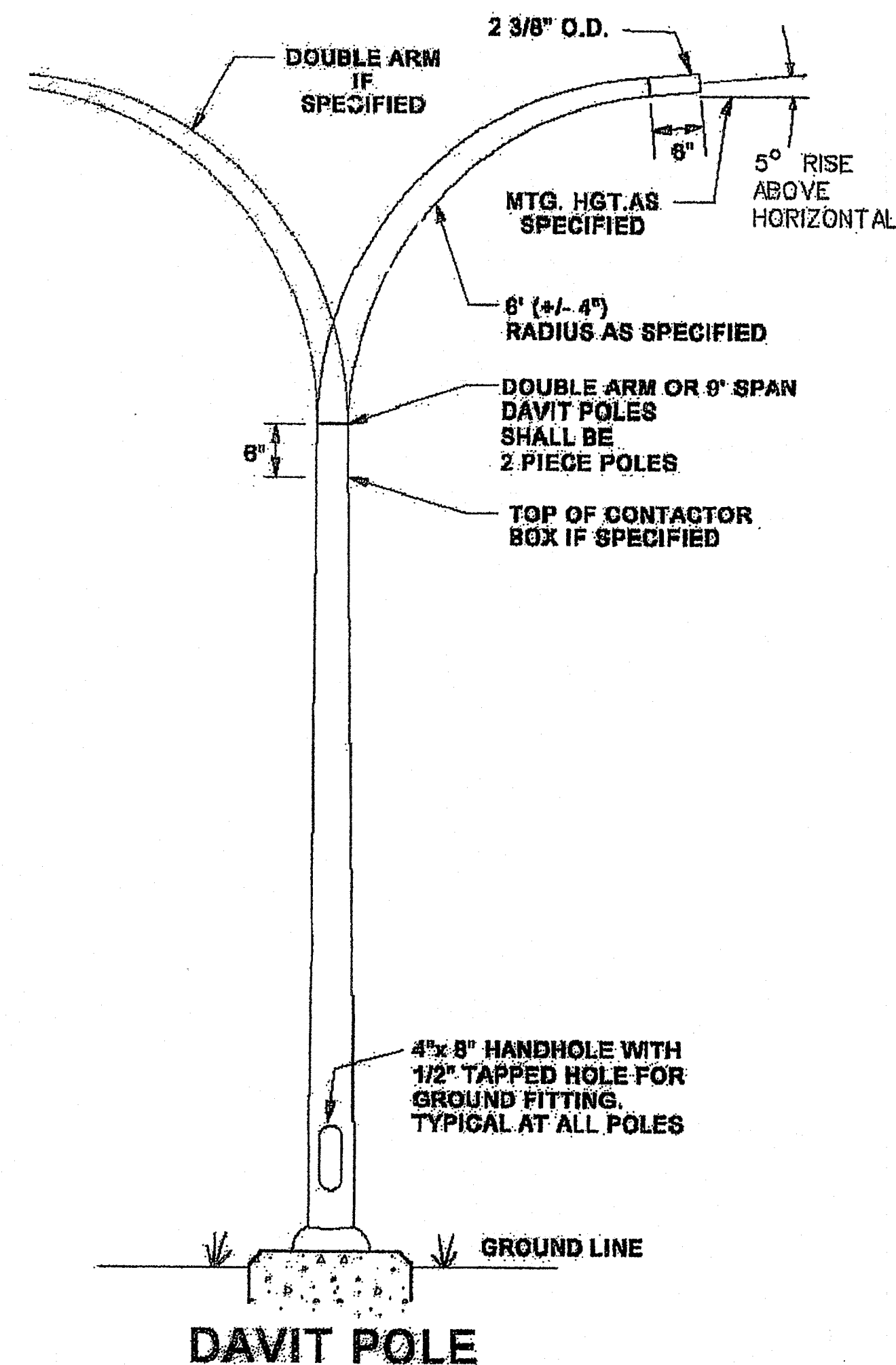
TRUSS TYPE LUMINAIRE SUPPORT ARM



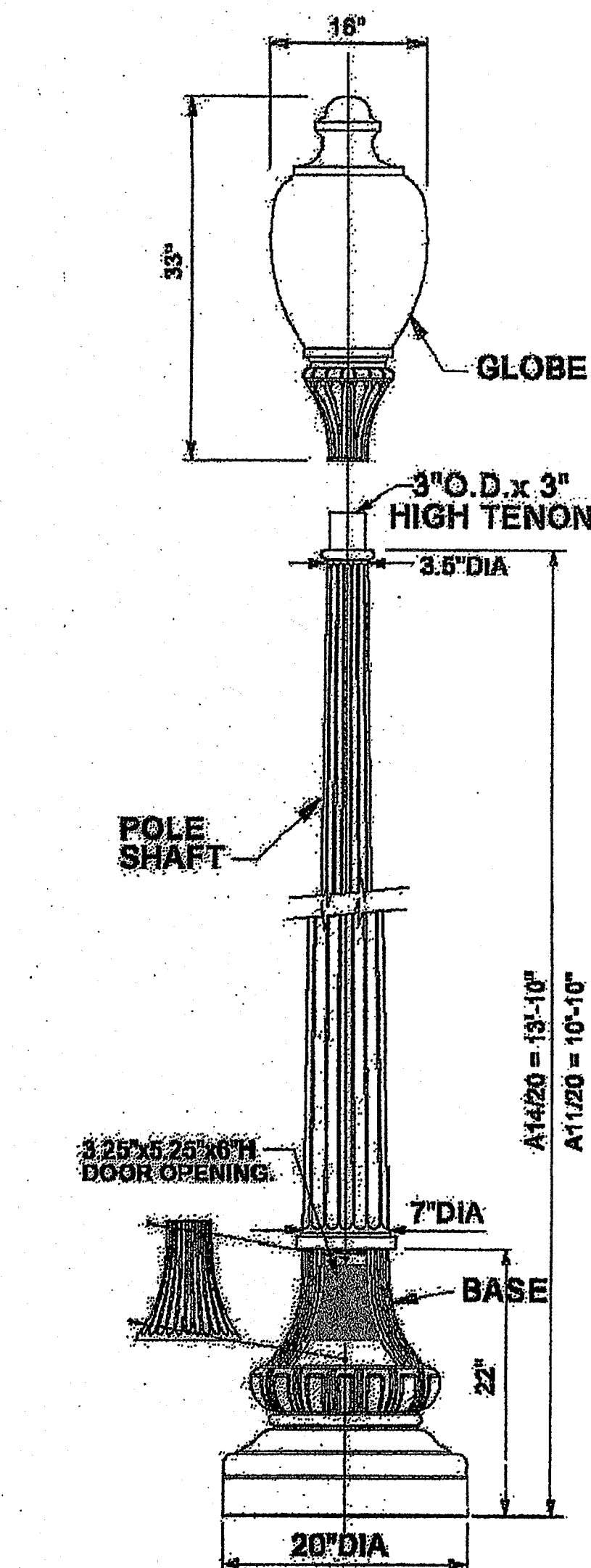
SINGLE MEMBER LUMINAIRE SUPPORT ARM

SINGLE PIECE DAVITT POLE					
TYPE NUMBER	MOUNTING HGT. FT.	MINIMUM SHAFT SIZE AT BASE	SPAN	GAUGE (MIN.)	DRILLED SHAFT FOUNDATION TYPE
D25-6	25	7.5"	8'	#11	* TYPE 4
D30-6	30	8.0"	8'	#11	* TYPE 2
40 FT. DAVITT STANDARD					
D40-9	40	9.5"	N/A	#11	* TYPE 5
SINGLE DAVITT ARM					
D40-9	N/A	N/A	8'	#11	N/A
DOUBLE DAVITT ARM					
D40-8T	N/A	N/A	8'	#11	N/A
D40-8T	N/A	N/A	8'	#11	N/A

* SEE FOUNDATION DESIGN TABLE



DAVITT POLE



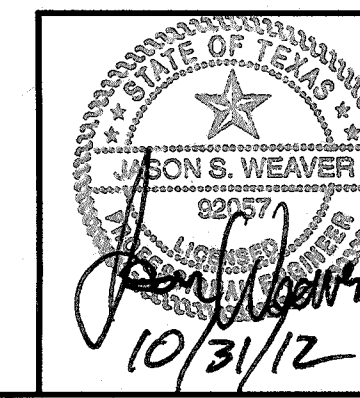
ANTIQUE STYLE POLE
(2 DIFFERENT HEIGHT POLES)

RECORD DRAWING

THIS RECORD DRAWING HAS BEEN PREPARED, IN PART, BASED UPON INFORMATION PROVIDED BY OTHERS. GOODWIN & MARSHALL, INC. IS NOT RESPONSIBLE FOR ERRORS WHICH MAY HAVE BEEN INCORPORATED INTO IT AS A RESULT.

DATE: JUNE 3, 2013

NOTE:
THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS APPLY WHETHER INDICATED ON THESE PLANS OR NOT



CITY OF ROANOKE, TEXAS
DEPARTMENT OF PUBLIC WORKS

BRIARWYCK ADDITION
PHASE 3D
CITY OF ROANOKE, TEXAS

STREET LIGHT
GENERAL NOTES & DETAILS

GOODWIN & MARSHALL
CIVIL ENGINEERS-PLANNERS-SURVEYORS
3408 MASSING DRIVE, GRANVILLE, TEXAS 76051
SHEET 20 of 21

GENERAL CONSTRUCTION NOTES:

FOUNDATIONS

1. Dimensions shown on plans for locations of street light foundations, conduit and other items may be varied to meet local conditions; subject to approval of Engineer.
2. Contractor shall contact the City for inspections prior to pouring street light foundations and digging for conduit runs.
3. No street light poles shall be placed on foundations prior to seven days following pouring of concrete.
4. Contractor shall clean up and remove all loose material resulting from construction operations.
5. Street light pole foundations shall be Class C (3000 P.S.I.) concrete.
6. All foundations shall be 24 inches in diameter unless shown other wise.
7. Foundation piers shall be drilled plum, the top of foundation poured level, the top 3 inches of the exposed pier (height) above finished grade shall have the sonotube removed.
8. Top of foundation shall be 3 inches above the finished grade unless shown different on plans.
9. Anchor bolts shall extend 4 inches above the top of foundation concrete.
10. Anchor bolts, ground rod, all reinforcing and conduit shall be in place before pouring concrete in pier foundations. Also pier foundations shall have one continuous concrete pour.
11. Street light foundations shall have a chamfered edge (beveled) at the top; see foundation details on sheet 2.

FOUNDATION PLACEMENT

1. Foundations in medians shall be placed in the center of the median between the two curbs.
2. Foundations shall not be drilled within 3 feet of a water line or Fire Hydrant.
3. In residential areas foundations shall be placed in the street right of way (R.O.W.) in line with the property line between lots and at the break of the radius point of the street curb at street intersections.
4. Foundations shall not be placed in sidewalks (or location of future sidewalks) or sidewalk ramps.

CONCRETE POURS

Contractor shall notify the PUBLIC WORKS Division 817-491-6099 inspector in advance (between 8:00 AM & 5:00 PM) of all concrete pours. Inspector must be present when concrete is placed on the project site.

EXISTING UTILITIES

1. Approximate location of known underground utilities has been shown on the plan sheets for the street luminaire project. The Engineer assumes no responsibility for the accuracy of the utility locations shown on the plans.
2. Contractor shall contact the following utility companies and agencies 48 hours prior to doing any work at any locations:

2.1. TXU Gas _____	1-800-817-8000	2.6. TXU Electric _____	1-800-233-2133
2.2. Southwestern Bell _____	Enterprise 9800	2.7. ROANOKE DEPARTMENT OF PUBLIC WORKS.	817-491-6099
2.3. AT&T _____	1-800-878-8711	2.8. ROANOKE DEPARTMENT OF PUBLIC WORKS.	817-491-6099
2.4. Charter Communications _____	1-800-395-0440	2.9. Dig Test _____	1-800-395-0440
2.5. Western Union Cable _____	214-939-1930	2.10. City Traffic Services Division _____	817-491-6099
3. Contractor shall be responsible for the following at no additional cost to the City:
 - 3.1. Preventing any property damage to property owner's poles, fences, shrubs, mailboxes, etc. Any damaged property will be restored as directed by Engineer.
 - 3.2. Landscaping and Sprinkler System - the contractor shall adjust and repair any existing landscaping and the sprinkler systems as directed by the Engineer to allow for the placement of all street light equipment. This shall be done in a manner equal to or better than the areas adjacent to the damaged areas.
 - 3.3. Providing access to all driveways during construction.
 - 3.4. Protecting all underground and overhead utilities and repair any damages.
4. No additional payment will be made for relocation of any foundations or conduit due to location of existing utilities.
5. Texas State Law, Article 1436C, makes unlawful the operation of equipment or machines within 10 feet of any overhead electrical line unless danger against contact with high voltage overhead lines has been effectively guarded against pursuant to the provisions of the article. When construction operations require working near an overhead electrical line, the Contractor shall contact the owner/operator of the overhead electrical line to make adequate arrangements and to take necessary safety precautions to ensure that all laws, electrical line owner/operator requirements and standard industry safety practices are met.
6. If any City of ROANOKE water utility is in the vicinity of a proposed pole foundation (within 3.0 feet), then the Contractor will hand dig to uncover the water line and verify that the proposed pole foundation location is satisfactory. The Contractor shall be liable for all damages done, and restoration to utilities as a result of his/her operations.
7. Water and sewer mains must be located prior to construction by contacting 817-491-6099 Any damages to the utilities as a result of Contractor's operation shall be repaired by the Contractor's expense.

DRAINAGE

Any obstruction to existing drainage due to Contractor's operations shall be removed by the contractor as required by the Engineer at the Contractor's expense.

PERMITS

Contractor shall obtain and pay for all permits as required to work in parkway.

PRE-CONSTRUCTION

1. Contractor shall notify Traffic Services Inspector 817-491-6099 7 days minimum before beginning work on this project.
2. Contractor shall attend a pre-construction meeting before beginning work on this project.

ELECTRICAL

1. All conduit under ground shall be 2 inch schedule 40 PVC and placed a minimum of 24 inches deep.
2. Conduit above ground shall be 2 inch rigid metal.
3. Conduit shall be installed in a trench free of rocks that would damage the conduit and first 2 inches of backfill shall be free of rocks.
4. All conduit shall start or end in a ground box, foundation or at a transformer pad along with a 1/4 inch poly line (pull string) with a break strength of 500 pounds or more [Greenlee part No. 5037959.3 or approved equal or better].
5. Each change of direction in the conduit run requires a ground box (pull box) unless it is less than 5 feet to the end of the run.
6. The unit of measure for conduit placement is the straight line distance between ground boxes, foundations or transformer pads.
7. Conduit shall be placed inside a easement or street right of way (R.O.W.). When placed in easements, the location of conduit shall be 30 inches off lot lines to avoid being damaged by fence post placement.
8. All electrical conduit, wiring, electrical connections, ect. shall be installed according to the National Electric Code.
9. For location of City of ROANOKE underground streetlight cable and conduit call 817-491-6099

LUMINAIRE POLES

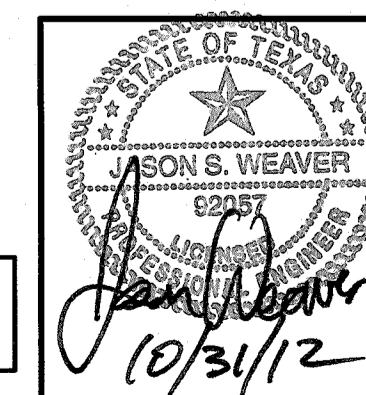
All new streetlight pole types will be determined by the area of ROANOKE they are being installed, the developer may call 817-491-6099 for pole types, template dimensions and anchor bolts, and any questions about installing the foundations and conduit for streetlights.


RECORD DRAWING

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DATE: JUNE 3, 2013

NOTE:
THE CITY OF ROANOKE'S CONSTRUCTION STANDARDS
APPLY WHETHER INDICATED ON THESE PLANS OR NOT



	CITY OF ROANOKE, TEXAS DEPARTMENT OF PUBLIC WORKS
BRIARWYCK ADDITION PHASE 3D CITY OF ROANOKE, TEXAS	
STREET LIGHT GENERAL NOTES & DETAILS	
GOODWIN & MARSHALL CIVIL ENGINEERS-PLANNERS-SURVEYORS 3426 MARSHALL DRIVE, GRANVILLE, TEXAS 76041	Job No.: 10323 Design: JSW/BRM Date: OCTOBER 2012 Draft: BRM Scale: AS SHOWN Review: JSW
SHEET: 21 of 21	



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: PH Notice - V-2025-04 - 1113 Bentley Drive

MEETING DATE: April 17, 2025

DEPARTMENT: City Secretary

ITEM SUMMARY:

Public hearing To consider a variance request (V-2025-04) from Stephen Wood, seeking relief from the City's Code of Ordinances Section 12.772(I) regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1113 Bentley Drive, Lot 13, Block S Briarwyck, Phase 3D.

INFORMATION:

STAFF RECOMMENDATION:

SPECIAL CONSIDERATION:

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. PH Notice - V-2025-04 - Stephen Wood 1113 Bentley Drive - Lot 13 Block S Briarwyck Phase 3D



City of Roanoke Notice of Public Hearing Variance Request

NOTICE OF PUBLIC HEARING CITY OF ROANOKE V-2025-04

Roanoke Zoning Board of Adjustment

THE ROANOKE ZONING BOARD OF ADJUSTMENT WILL HOLD A PUBLIC HEARING ON THURSDAY, APRIL 17, 2025, TO CONSIDER A VARIANCE REQUEST FROM STEPHEN WOOD, SEEKING RELIEF FROM THE CITY'S CODE OF ORDINANCES SECTION 12.772(i), REGARDING FENCES IN RESIDENTIAL AREAS – FRONT YARD FENCING REQUIREMENTS FOR PROPERTY LOCATED AT 1113 BENTLEY DRIVE, LOT 13, BLOCK S BRIARWYCK, PHASE 3D. THE PUBLIC HEARING WILL BE HELD AT 7:00 P.M. IN THE CITY COUNCIL CHAMBERS LOCATED AT 500 S OAK STREET, ROANOKE, TEXAS.

CERTIFICATION

I certify that the above notice was posted at City Hall, 500 South Oak Street, Roanoke, Texas, on Wednesday, March 26, 2025, by 5:00 p.m.

April S. Hill, City Secretary

****Persons with disabilities who plan to attend this meeting, who may need auxiliary aids or services are requested to contact April S. Hill, City Secretary, at City Hall, (817) 491-2411 two (2) days prior to the meeting so that appropriate arrangements can be made. BRAILLE IS NOT AVAILABLE.**

- A public wireless network is now available in the Council Chambers for use during meetings. It is available from 7am to 11pm Monday thru Friday. The name of the network is: COR-Guests



AGENDA ITEM

TO: ZBA Board Members

SUBJECT: Variance (V 2025-04) 1113 Bentley Drive

MEETING DATE: April 17, 2025

DEPARTMENT: Planning

ITEM SUMMARY:

Consideration and action on a variance request (V 2025-04) from Stephen Wood, seeking relief from the City's Code of Ordinances Section 12.772(I) regarding Fences in Residential Areas – Front Yard Fencing requirements for property located at 1113 Bentley Drive, Lot 13, Block S Briarwyck, Phase 3D.

INFORMATION:

The applicant is seeking to put in an eight (8) foot wood fence in the front yard of the residence.

A wrought iron fence less than four (4) feet in height was installed on top of the retaining wall at the time of development.

Sec. 12.772. - Fences in Residential Areas

(i) Front Yard Fencing. No fence shall be built within the required front yard, as defined in the Zoning Ordinance, except for lots that have an area of one and one-half acres (1½) acres or greater. Front yard fencing shall be limited to four (4) feet in height and shall not be of solid construction, providing that at least fifty (50) percent of the fence be open.

STAFF RECOMMENDATION:

Staff recommends denial.

SPECIAL CONSIDERATION:



AGENDA ITEM

FINANCIAL CONSIDERATION:

ATTACHMENTS:

1. V-2025-04 - Stephen Wood 1113 Bentley Drive - Variance App
2. Survey_WoodCoe_BentleyHome (1)



CITY OF ROANOKE
 500 S. OAK STREET
 ROANOKE, TEXAS 76262
 (817) 491-2411

Zoning Board of Adjustment Application

Variance Special Exception Zoning Board Appeal

Name of Applicant Stephen Wood	Address of Applicant 1113 Bentley Drive	E-Mail stephen@localmediagroup.cor
		Phone 972-746-9801
		Mobile Phone
Name of Business		Type of Business
Property Address 1113 Bentley Drive		Lot / Block / Subdivision Lot 13, Block S, Briarwyck, Phase 3D

Explanation of request: I am writing to formally request approval of a variance to complete the installation of an 8-foot wooden fence along the sidewalk portion of my property. This request is essential to address critical safety issues and liability concerns that have persisted for over a decade.

For Variance please state hardship: The developer has left a physical limitation of my property which stages a liability having an iron fence atop a retaining wall. The builder designed the area without intention of protecting others from entering my property to access the 1111 Bentley private back yard.

Fees: Variance-\$200.00, Special Exception-\$200.00, Zoning Board Appeal-\$100.00. Fees are non-refundable. The Zoning Board of Adjustment meets on the 3rd Thursday of the month, at 7:00 p.m. in the City Hall Council Chamber located at 500 S. Oak Street. You will be notified by e-mail of the date the request will be presented before the ZBA. For a Variance or Special Exception, property owners located within 200 feet will be notified by mail. Electronic drawings and any additional information that needs to be reviewed prior to the meeting must be received with the application.

FOR OFFICE USE ONLY

Date Payment Received PD \$200.00 03/24/2025 REC #762345 JM	Date of Meeting 04/17/2025	Date Notified 03/26/2025	Item No. V2025 - 04
--	-------------------------------	-----------------------------	------------------------

Stephen Wood

1113 Bentley Drive
Roanoke, Texas 76262
March 24th, 2025

Variance Board

Re: Variance Request for Fence Completion – Addressing Safety and Liability Concerns

Dear Members of the Variance Board,

I am writing to formally request approval of a variance to complete the installation of an 8-foot wooden fence along the retaining wall adjacent to my property and 1111 Bentley Drive. This request is essential to address critical safety issues and liability concerns that have persisted for over a decade. The fence installation is nearly complete, with only a few remaining boards and staining left to finalize.

1. Longstanding Safety Issue:

For more than 10 years, the area along my retaining wall posed a significant safety risk due to the presence of a 4-foot retaining wall running along the city sidewalk and neighborhood road. The lack of an adequate barrier has led to repeated incidents where individuals attempted to climb over the existing short fence, and in some cases, successfully entered my property by climbing down from the retaining wall. Completing the 8-foot fence would provide a necessary physical and visual deterrent, significantly reducing the risk of injury.

2. Direct Liability Exposure:

As the property owner, I face direct liability for any injuries that occur due to the inadequate barrier along the retaining wall. Completing the 8-foot fence would fulfill my responsibility to create a safe and secure environment and mitigate potential liability.

3. Repeated Trespassing and Property Misidentification:

The property adjacent to mine at 1111 Bentley has been repeatedly mistaken for a community common area or vacant lot by individuals walking along the sidewalk or driving by. Over the years, there have been multiple instances where individuals have climbed over my existing fence, dropped down the retaining wall, and even climbed over my adjacent neighbor's fence. The completion of a taller, more visible fence would clearly define the boundary of private property and discourage unauthorized access.

4. Completion of the Fence:

The majority of the fence has already been constructed, with only a few boards and staining left to finalize. Allowing this variance would ensure that the project is lawfully completed and provide the intended safety, security, and liability protections for both myself and the surrounding community.

I believe that completing the fence as proposed aligns with the city's interest in promoting safety and protecting property owners from undue liability. Thank you for your time and consideration of this matter. I am happy to provide any additional information or clarification needed to support this request.

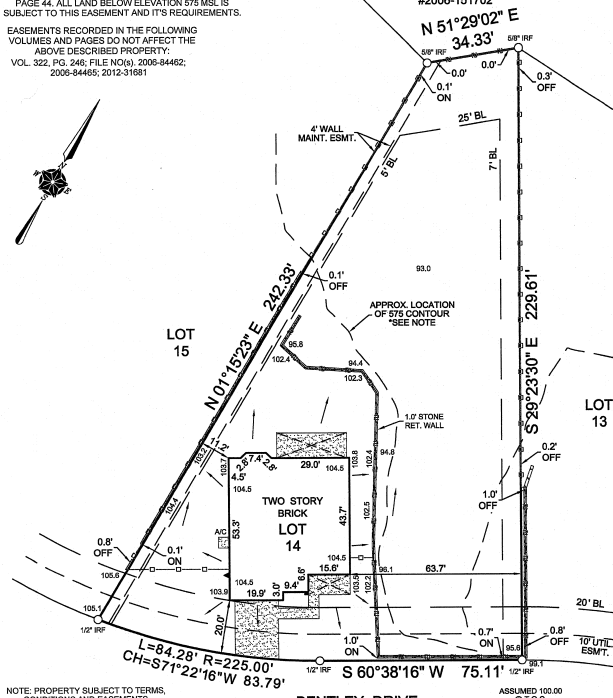
Sincerely,
Stephen Wood

FINAL SURVEY

This is to certify that persons under my direction have, this date, made an on-the-ground survey of property located at 1111 BENTLEY DRIVE, in the City of ROANOKE, Texas, Lot 14, Block S, Briarwyck, Phase 3D, an addition to the City of Roanoke, Denton County, Texas, according to the Map or Plat thereof recorded in Clerk's File No. 2013-158 of the Map and Plat Records, Denton County, Texas.

NOTE: LOT IS SUBJECT TO A CORPUS OF ENGINEERS FLOWAGE EASEMENT AS RECORDED IN VOLUME 471, PAGE 44. ALL LAND BELOW ELEVATION 575 MSL IS SUBJECT TO THIS EASEMENT AND ITS REQUIREMENTS.
 EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY:
 VOL. 322, PG. 246; FILE NO(s) 2005-84462; 2005-84465; 2012-31681

CITY OF ROANOKE
 #2006-151702



NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN FILE NO. 2005-84461; 2005-62585; 2005-84460
 ALL BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.
 THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0515G
 I, Gary E. Johnson, Texas Registered Professional Land Surveyor No. 5299, do hereby certify that the survey plat hereon is a true and correct representation of the above described property, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground and that there are no protrusions from or encroachments onto said property by any such improvements except as shown hereon.

ACCEPTED BY: _____ DATE: _____
 GARY E. JOHNSON
 TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5299

TITLE CO.: CAREFREE GF NO.: 3853-1 BORROWER: CHRONIN DRAWN BY: CHUCK CHECKED BY: TVE DATE: 1/8/2014 SCALE: 1"=30' TASK NO.: 1302158-8	LEGEND ○ FENCE POSTS ONLY ○ CHAIN LINK FENCE ○ WOOD FENCE ○ IRON FENCE ○ OVERHEAD ELECTRIC SERVICE ○ OVERHEAD POWER LINE ○ IRON ROD FOUND ○ IRON ROD SET ○ IRON PIPE FOUND ○ 1/2" FOUND / SET ○ ELECTRIC METER ○ POWER POLE	TEXAS HERITAGE SURVEYING, LLC 10510 Mastic Drive, Suite 104, Dallas, TX 75243 Office 214-340-9700 Fax 214-340-9710 thheritage.com	GARY E. JOHNSON TEXAS REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5299 Gary E. Johnson P.L.S. No. 5299
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Show Your Survey Here:



Figure 1. Iron Fence Bentley Dr Before



Figure 2. 1111 Bentley Drive Before and After Looking North (mid-staining)



Figure 3. 410 Aylesbury Ct (reference in Briarwyck HOA)

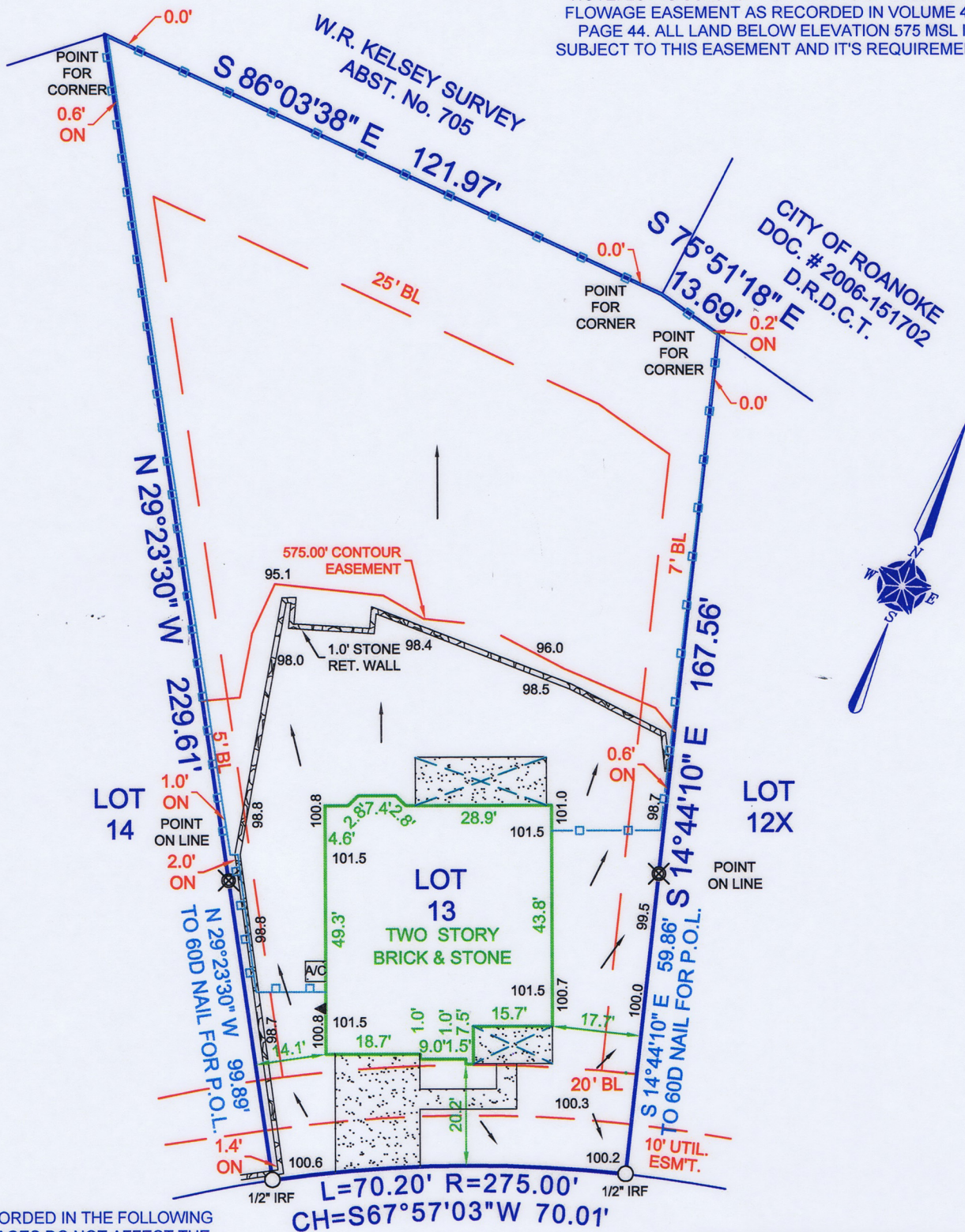


Figure 4. 901 Hartford Ct (reference in Briarwyck HOA)

FINAL SURVEY

This is to certify that persons under my direction have, this date, made an on-the-ground survey of property located at
 1113 BENTLEY DRIVE, in the City of ROANOKE, Texas,
 Lot No. 13 Block No. S
 of BRIARWYCK, PHASE 3D, an addition
 to the City of ROANOKE, DENTON COUNTY, Texas, according to the MAP OR PLAT THEREOF
 recorded in CLERK'S FILE NO. 2013-158 of the MAP AND PLAT Records of DENTON County, Texas.

NOTE: LOT IS SUBJECT TO A CORPS OF ENGINEERS FLOWAGE EASEMENT AS RECORDED IN VOLUME 471, PAGE 44. ALL LAND BELOW ELEVATION 575 MSL IS SUBJECT TO THIS EASEMENT AND IT'S REQUIREMENTS.



EASEMENTS RECORDED IN THE FOLLOWING VOLUMES AND PAGES DO NOT AFFECT THE ABOVE DESCRIBED PROPERTY:
 VOL. 322, PG. 246;
 FILE NO(s). 2006-84462; 2006-84465, 2012-31681

NOTE: PROPERTY SUBJECT TO TERMS, CONDITIONS AND EASEMENTS CONTAINED IN INSTRUMENT RECORDED IN FILE NO. 2006-84461; 2008-62589; 2006-84460, VOL. 471, PG. 44

ALL BEARINGS, EASEMENTS AND BUILDING LINES ARE BY RECORDED PLAT UNLESS OTHERWISE NOTED.

THIS PROPERTY DOES NOT LIE WITHIN A FLOOD HAZARD AREA ACCORDING TO THE FLOOD INSURANCE RATE MAP NO. 48121C0515 G
 I, Gary E. Johnson, Texas Registered Professional Land Surveyor No. 5299, do hereby certify that the survey plat hereon is a true and correct representation of the above described property, and do further state that this survey accurately depicts the substantial improvements to said property as located on the ground and that there are no protrusions from or encroachments onto said property by any such improvements except as shown hereon.

ACCEPTED BY: _____ ACCEPTED BY: _____ DATE: _____

TITLE CO.: CAREFREE
 GF NO.: DLS-3510
 BORROWER: WOOD/COE
 DRAWN BY: BRK
 CHECKED BY: *WJC*
 DATE: 10/28/2013
 SCALE: 1"=30'
 TASK NO.: 1301884-4

LEGEND	
	ASPHALT PAVING
	CHAIN LINK FENCE
	WOOD FENCE
	IRON FENCE
	OVERHEAD ELECTRIC SERVICE
	OVERHEAD POWER LINE
	COVERED AREA
	CONCRETE PAVING
	IRON ROD FOUND
	IRON ROD SET
	IRON PIPE FOUND
	"X" FOUND / SET
	ELECTRIC METER
	POWER POLE

TEXAS HERITAGE
 SURVEYING, LLC

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 Office 214-340-9700 Fax 214-340-9710
 txheritage.com

STATE OF TEXAS
 REGISTERED
GARY E. JOHNSON
 5299
 PROFESSIONAL
 LAND SURVEYOR

Gary E. Johnson
 Gary E. Johnson P.L.S. No. 5299